

16 April 2012

Dear Councillor

DEVELOPMENT CONTROL COMMITTEE - TUESDAY, 24TH APRIL 2012

Please find enclosed location and layout plans for the planning applications, where applicable, that are to be considered at the above meeting of the Development Control Committee.

Agenda No Item

4. **Planning applications to be determined**

- a) 11/00938/FUL - Go Ape Rivington Lane Rivington Bolton Lancashire (Pages 1 - 2)
- b) 12/00197/FUL- Abbeystead Farm Buildings Bolton Road Abbey Village Lancashire
(Pages 3 - 16)
- c) 11/00837/FULMAJ - Site 7 And 9 Buckshaw Avenue Buckshaw Village Lancashire
(Pages 17 - 30)
- d) 12/00042/DIS - Sagar House, Langton Brow, Eccleston, Chorley (Pages 31 - 36)
- e) 12/00191/OUT - 107/113 Chorley Road, Adlington, Chorley (Pages 37 - 40)
- f) 12/00305/FUL - Festive Lights, Disklok House, Preston Road, Charnock Richard, Chorley (Pages 41 - 48)
- g) 12/00031/FUL - High Heys Farm Langton Brow, Eccleston, Chorley (Pages 49 - 50)
- h) 12/00092/FUL - High Heys Farm, Langton Brow, Eccleston, Chorley (Pages 51 - 52)
- i) 12/00102/FULMAJ - Land between Froom Street and Crosse Hall Lane, Chorley
(Pages 53 - 60)
- j) 12/00188/FULMAJ - International Fire Training Centre, Washington Hall, West Way, Euxton, Chorley (Pages 61 - 68)

- k) 12/00235/FUL - Land to the north of Northenden Road with access off Moss Bank Coppull (Pages 69 - 70)
- l) 12/00234/FULMAJ - Mawdsleys Eating House and Hotel Hall Lane, Mawdesley, Ormskirk (Pages 71 - 76)

Yours sincerely



Gary Hall
Chief Executive

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Democratic and Member Services Officer
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Distribution

1. Agenda and reports to all Members of the Development Control Committee.

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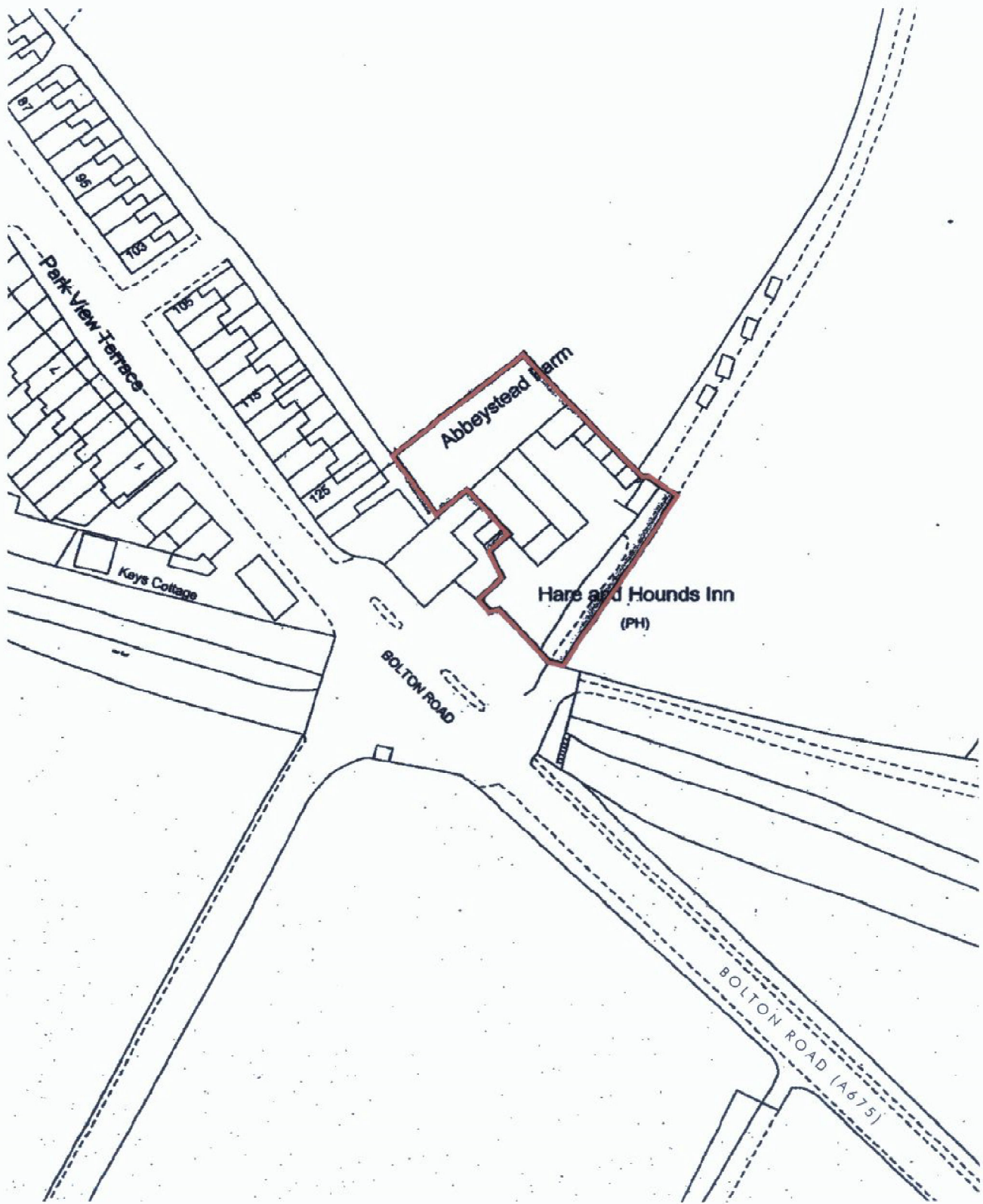
આ માહિતીનો અનુવાદ આપની પોતાની ભાષામાં કરી શકાય છે. આ સેવા સરળતાથી મેળવવા માટે કૃપા કરી, આ નંબર પર ફોન કરો: 01257 515822

ان معلومات کا ترجمہ آپ کی اپنی زبان میں بھی کیا جاسکتا ہے۔ یہ خدمت استعمال کرنے کیلئے براہ مہربانی اس نمبر پر ٹیلیفون

01257 515823

کیجئے:

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LOCATION PLAN 1:1250

ANTHONY HART DESIGN
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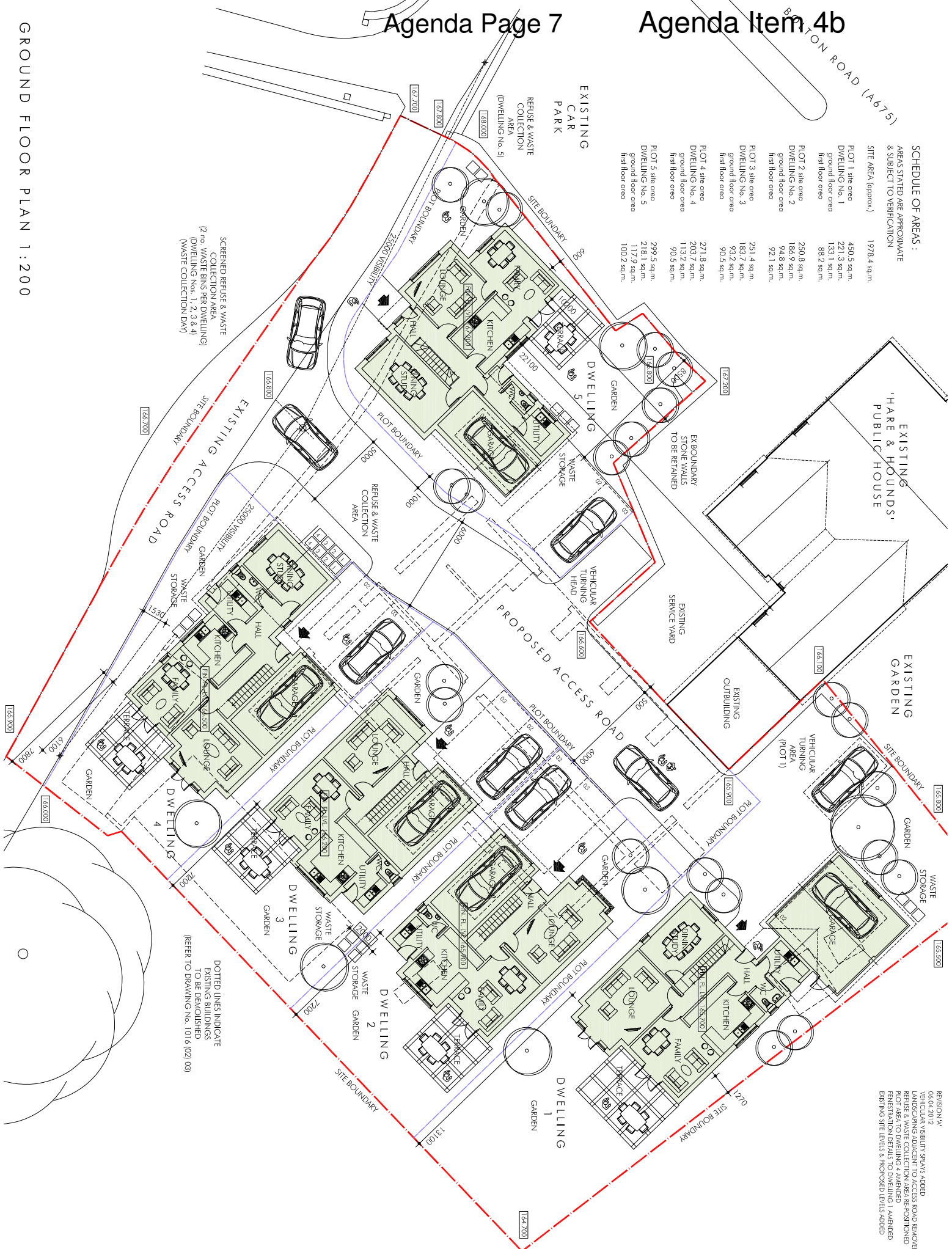
CLIENT: MR. C. BROWN	
PROJECT: PROPOSED REDEVELOPMENT OF ABBEYSTEAD FARM ABBEY VILLAGE CHORLEY PR6 8DP	
DRAWING: LOCATION PLAN	
DRAWING No.:	SCALE:
1016 (02) 01	1:1250 @ A4
DATE:	REVISION:
28.10.2010	-



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GROUND FLOOR PLAN 1:200



SCHEDULE OF AREAS:
AREAS STATED ARE APPROXIMATE & SUBJECT TO VERIFICATION

SITE AREA (approx.)	1978.4 sq.m.
PLOT 1 site area	450.5 sq.m.
DWELLING No. 1	221.3 sq.m.
ground floor area	133.1 sq.m.
first floor area	88.2 sq.m.
PLOT 2 site area	250.8 sq.m.
DWELLING No. 2	186.9 sq.m.
ground floor area	94.8 sq.m.
first floor area	92.1 sq.m.
PLOT 3 site area	251.4 sq.m.
DWELLING No. 3	183.7 sq.m.
ground floor area	93.2 sq.m.
first floor area	90.5 sq.m.
PLOT 4 site area	271.8 sq.m.
DWELLING No. 4	203.7 sq.m.
ground floor area	113.2 sq.m.
first floor area	90.5 sq.m.
PLOT 5 site area	299.5 sq.m.
DWELLING No. 5	218.1 sq.m.
ground floor area	117.9 sq.m.
first floor area	100.2 sq.m.

SCREENED REFUSE & WASTE COLLECTION AREA (2 nos. WASTE BINS PER DWELLING) (DWELLING Nos. 1, 2, 3 & 4) (WASTE COLLECTION DAY)

DOTTED LINES INDICATE EXISTING BUILDINGS TO BE DEMOLISHED (REFER TO DRAWING No. 1016 (02) (03)

EXISTING 'HARE & HOUNDS' PUBLIC HOUSE

EXISTING GARDEN

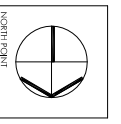
WASTE STORAGE

REVISION N° 06.02.07 VISIBILITY SPACES ADDED. LANDSCAPING ADJACENT TO ACCESS ROAD REMOVED. REFUSE & WASTE COLLECTION AREA RE-ORIENTED. PLOT AREA TO DWELLINGS 4 AMENDED. FINISHING DETAILS TO DWELLING 1 AMENDED. FINISHING THE LEVELS & PROPOSED LEVELS ADDED.

DRAWING NO.: 1016 (02) 04 A
DATE: 17.02.2012
SCALE: 1:200 @ A3

CLIENT: MR. C. BROWN
PROJECT: PROPOSED REDEVELOPMENT OF ABBEYSTEAD FARM ABBEY VILLAGE CHORLEY PR6 8DP
TITLE: PROPOSED SITE PLAN : GROUND FLOOR PLAN

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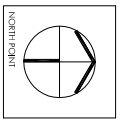


SOUTH-WEST ELEVATION (VIEW FROM PROPOSED ACCESS ROAD)



NORTH-EAST ELEVATION

GENERAL ARRANGEMENT : ELEVATIONS



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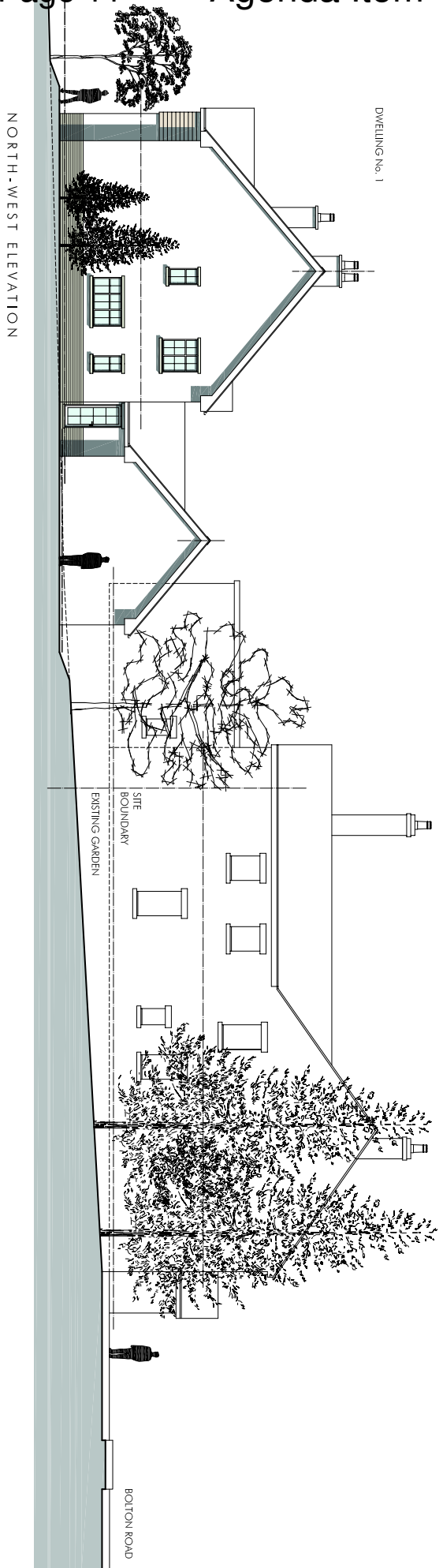
CLIENT: MR. C. BROWN
PROJECT: PROPOSED REDEVELOPMENT OF ABBEYSTED FARM ABBEY VILLAGE CHORLEY PR6 8DP
TITLE: GENERAL ARRANGEMENT : ELEVATIONS

DRAWING NO. : 1016 (02) 07 A
DATE: 17.02.2012
SCALE: N.T.S.

REVISION N/A
06.04.2012
SOUTH-WEST ELEVATION AMENDED
DWELLING NO. 1 AMENDED



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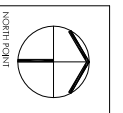
EXISTING HARE & HOUNDS INN

DWELLING No. 1

NORTH-WEST ELEVATION

BOLTON ROAD

SITE BOUNDARY
EXISTING GARDEN



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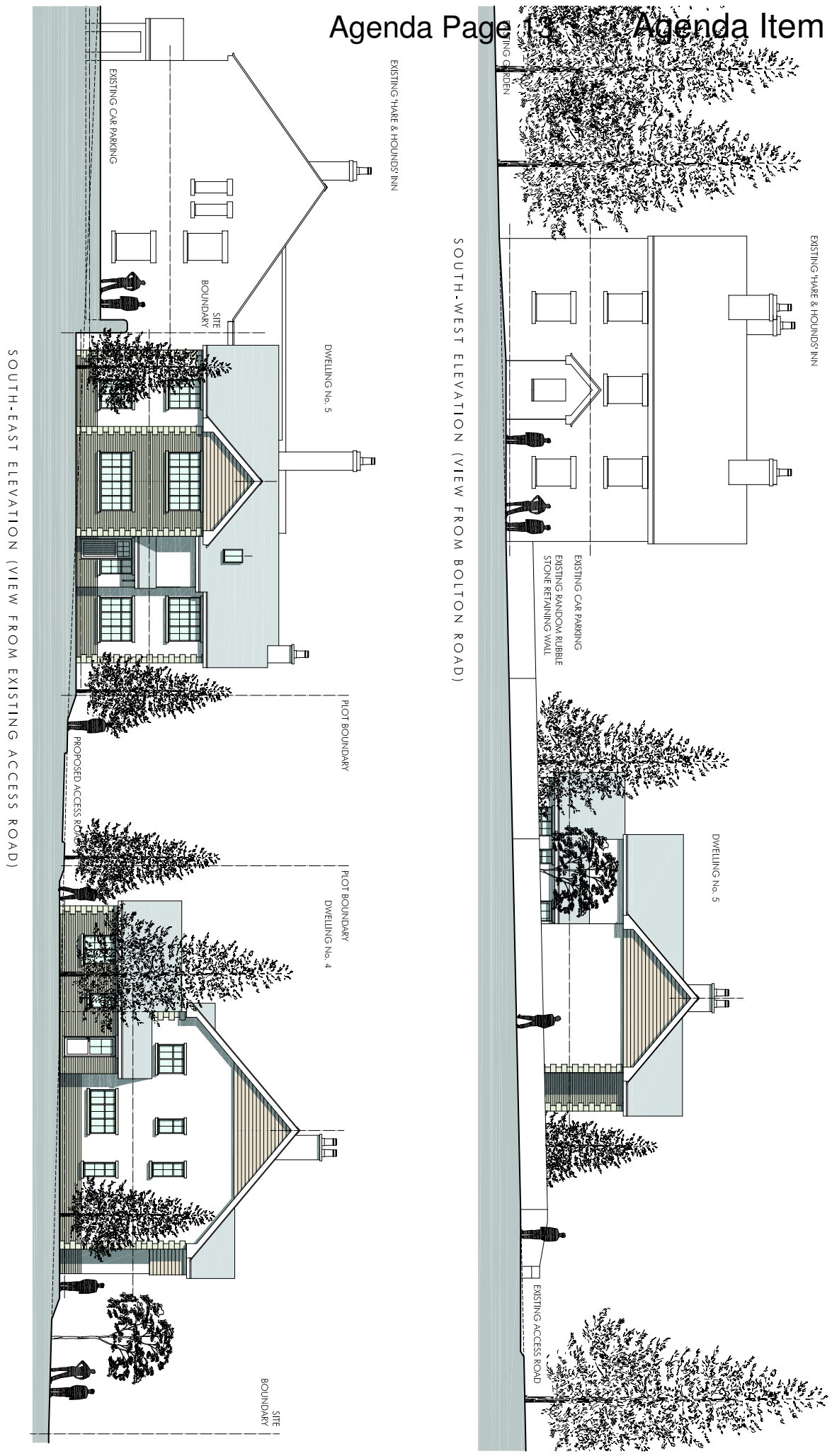
CLIENT: MR. C. BROWN
PROJECT: PROPOSED REDEVELOPMENT OF ABBEYSTED FARM ABBEY VILLAGE CHORLEY PR6 8DP
TITLE: GENERAL ARRANGEMENT : ELEVATIONS

DRAWING NO. : 1016 (02) 08 A
DATE : 17.02.2012
SCALE: N.T.S.

REVISION #
06.04.2012
NORTH-WEST ELEVATION AMENDED
DWELLING NO. 1 AMENDED



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GENERAL ARRANGEMENT : ELEVATIONS

DRAWING NO. :	1016 (02) 06
DATE :	17.02.2012
SCALE :	N.T.S.

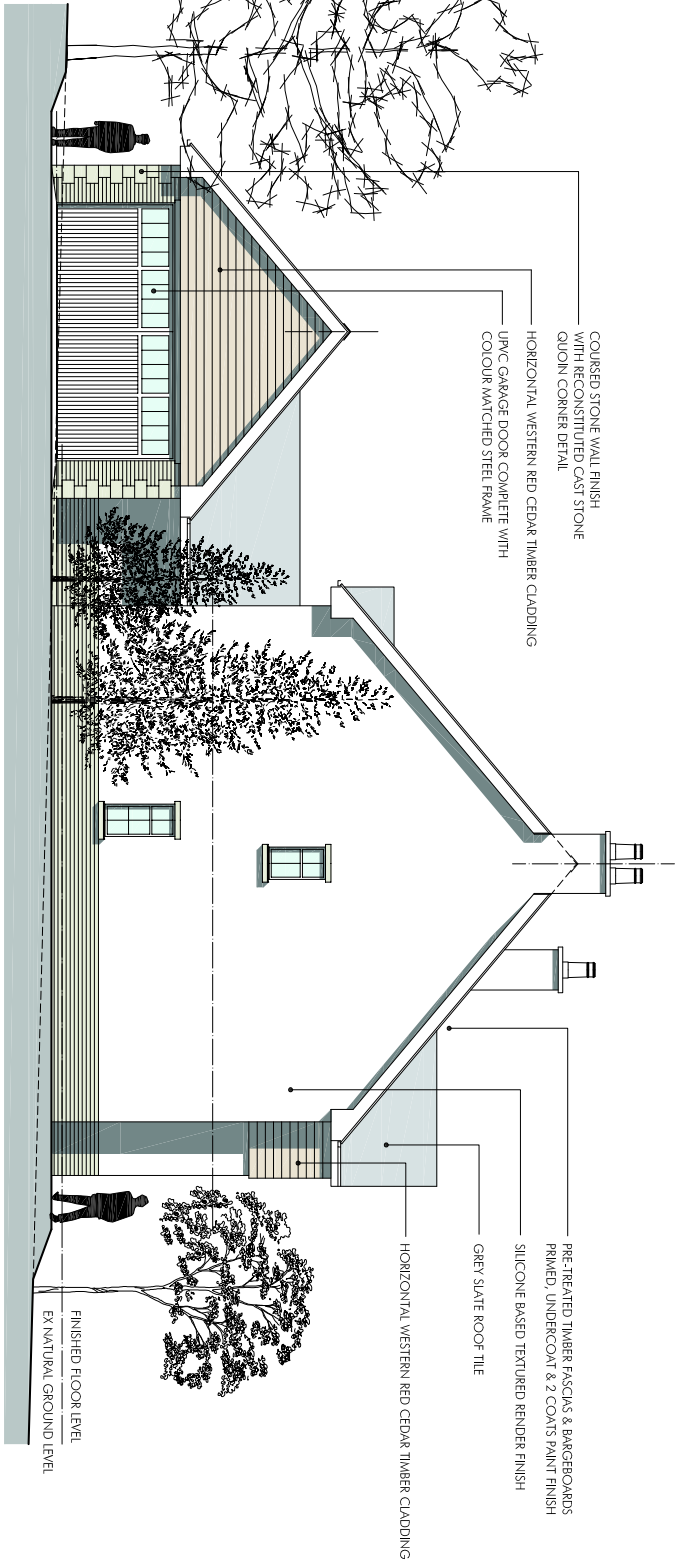
CLIENT :	MR. C. BROWN
PROJECT :	PROPOSED REDEVELOPMENT OF ABBEYSTED FARM ABBEY VILLAGE CHORLEY PR6 8DP
TITLE :	GENERAL ARRANGEMENT : ELEVATIONS

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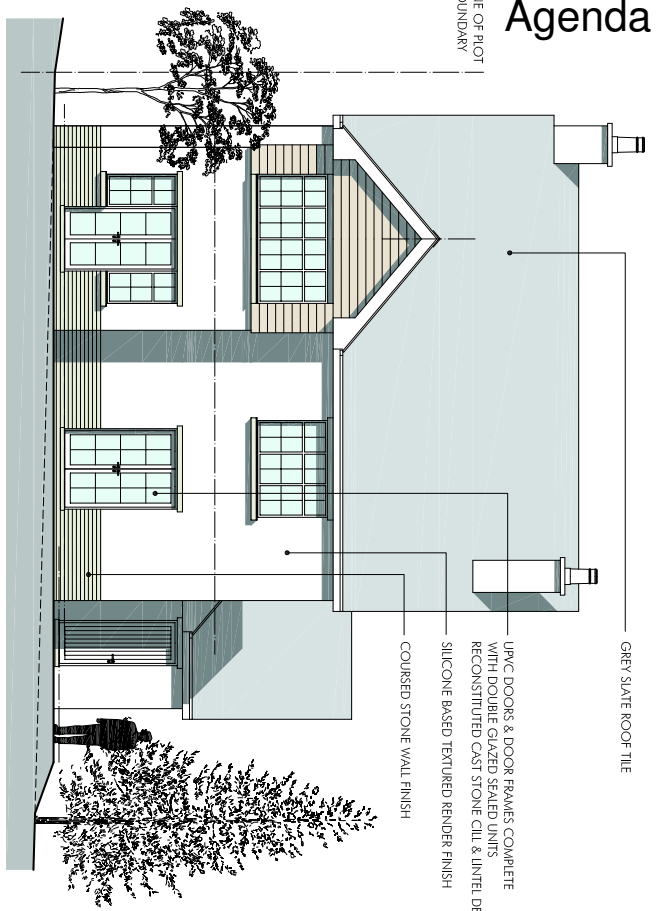


SOUTH-EAST ELEVATION

COURSED STONE WALL FINISH WITH RECONSTITUTED CAST STONE QUOIN CORNER DETAIL
 HORIZONTAL WESTERN RED CEDAR TIMBER CLADDING
 UPVC GARAGE DOOR COMPLETE WITH COLOUR MATCHED STEEL FRAME

PRE-TREATED TIMBER FASCIAS & BARGEBOARDS PRIMED, UNDERCOAT & 2 COATS PAINT FINISH
 SILICONE BASED TEXTURED RENDER FINISH
 GREY SLATE ROOF TILE
 HORIZONTAL WESTERN RED CEDAR TIMBER CLADDING

FINISHED FLOOR LEVEL
 EX NATURAL GROUND LEVEL



NORTH-EAST ELEVATION

GREY SLATE ROOF TILE
 UPVC DOORS & DOOR FRAMES COMPLETE WITH DOUBLE GLAZED SEALED UNITS RECONSTITUTED CAST STONE CILL & LINTEL DETAIL
 SILICONE BASED TEXTURED RENDER FINISH
 COURSED STONE WALL FINISH

HORIZONTAL WESTERN RED CEDAR TIMBER CLADDING
 UPVC WINDOW FRAMES COMPLETE WITH DOUBLE GLAZED SEALED UNITS RECONSTITUTED CAST STONE CILL & LINTEL DETAIL
 COURSED STONE WALL FINISH WITH RECONSTITUTED CAST STONE QUOIN CORNER DETAIL
 GREY SLATE ROOF TILE
 PRE-TREATED TIMBER FASCIAS & BARGEBOARDS PRIMED, UNDERCOAT & 2 COATS PAINT FINISH

LINE OF SITE BOUNDARY
 FINISHED FLOOR LEVEL

LINE OF PLOT BOUNDARY

PROPOSED DWELLING No. 1



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CLIENT: MR. C. BROWN	PROJECT: PROPOSED REDEVELOPMENT OF ABBEYSTED FARM ABBEY VILLAGE CHORLEY PR6 8DP
DATE: 12.01.2012	TITLE: PROPOSED DWELLING No. 1 : ELEVATIONS

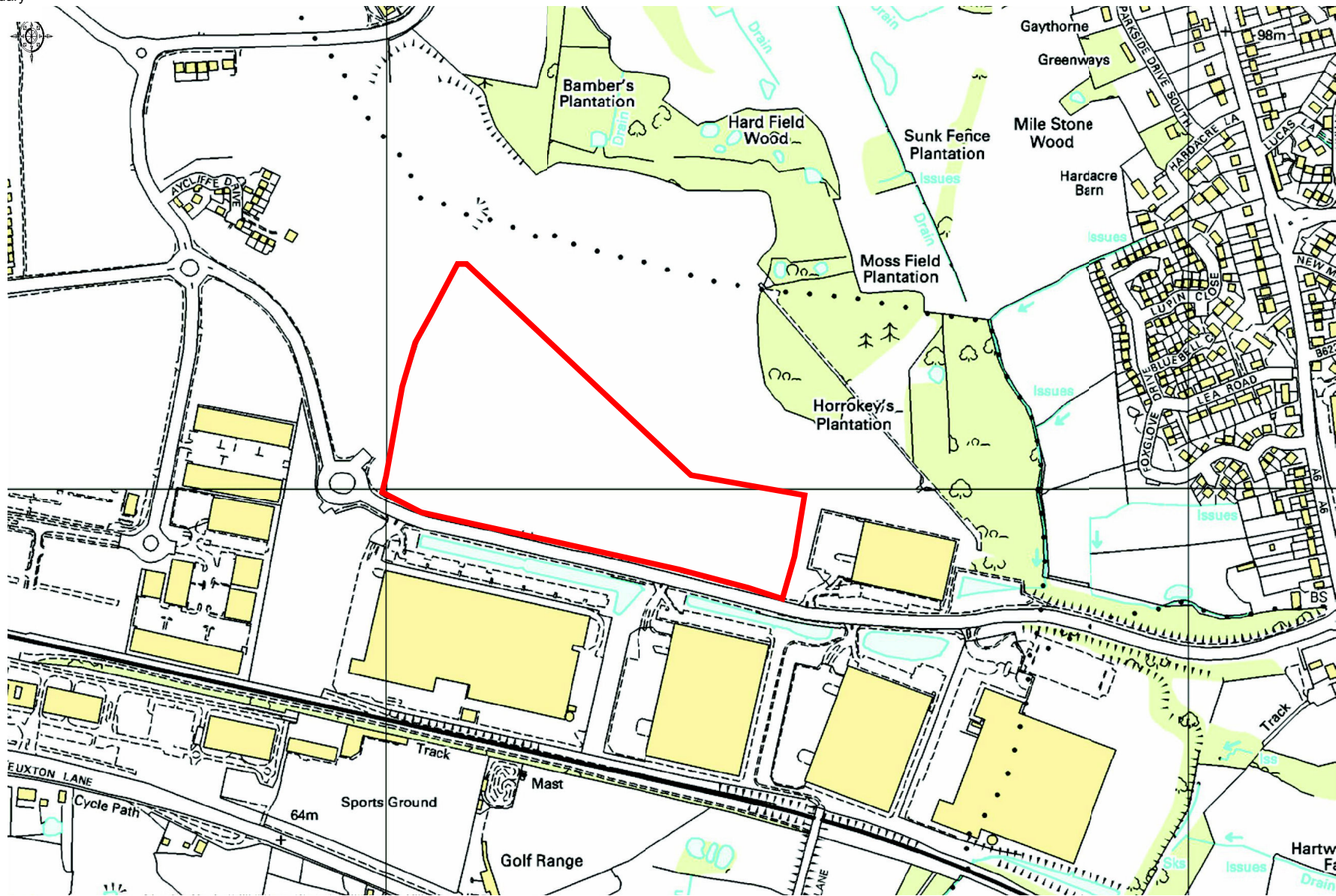
DRAWING NO.:	1016 (03) 02 A
DATE:	12.01.2012
SCALE:	1:100 @ A3



REVISION #4
 06.04.2012
 SOUTHWEST ELEVATION AMENDED
 BEHCOOH'S WINDOW GRANTED

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Key
— Site boundary

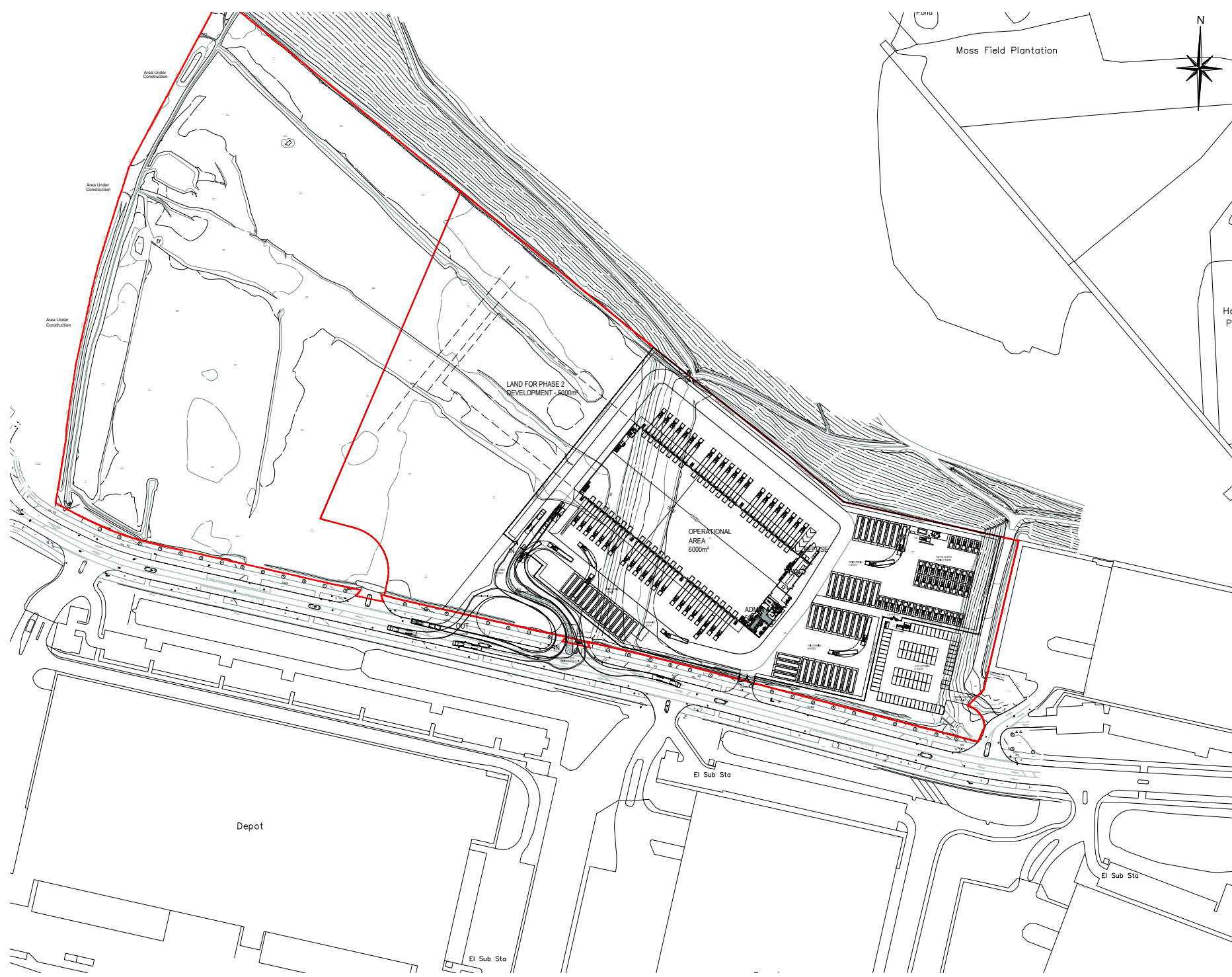


Client: Evander Properties Ltd
Project: Proposed Distribution Centre Development, Plots 5, 7 and 9 Revolution Park, Buckshaw Village
Title: Site Location Plan
Reference: EVAM2000
Date: 12 September 2011
Scale: 1:5000

TURLEY ASSOCIATES

1 New York Street
Manchester
M1 4HD

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SITE AREA
 Approx 9,000 ACRES (36,400 sq m)

OPERATIONAL AREA 6000 sq m+
 2 STOREY ADMIN AREA 580 sq m

SITE DENSITY 17.4%
 (Based on a ground floor area of 6300 sq m)

PARKING
 50 No TRAILERS BAYS
 30 No TRACTOR UNITS
 7 No SHUNTERS
 2 No LWB

87 No PRIVATE CAR SPACES
 15 MICYCLES
 15 CYCLES

Revisions	H	Date:	13-01-2012	Drawn:	VCW	Checked:	SB
Site boundary of phase two amended							
Revisions	G	Date:	20-12-2011	Drawn:	VCW	Checked:	SB
Vehicular entrance/exit amended to provide room for queuing							
Revisions	F	Date:	15-12-2011	Drawn:	SB	Checked:	PDR
Boundary and security fence added							
Revisions	E	Date:	08-12-2011	Drawn:	SB	Checked:	PDR
Drawing scale reduced to indicate Phase 2 site							
Revisions	D	Date:	08-12-2011	Drawn:	SB	Checked:	PDR
Add Site density							
Revisions	C	Date:	07-12-2011	Drawn:	SB	Checked:	PDR
Reduce accommodation block to 610m2							
Revisions	B	Date:	04-12-11	Drawn:	SB	Checked:	PDR
Add revised building footprint, Add Jetwash, Axel Weighbridge							
Revisions	A	Date:	29-11-11	Drawn:	SB	Checked:	PDR
Revised West boundary line							

PLANNING ISSUE

Project:
 PARCELFORCE
 NORTH WEST PROCESSING CENTRE (NWPC)
 CHORLEY

Client: ROYAL MAIL GROUP PROPERTY
 PROPOSED SITE LAYOUT PLAN

PHASE 1

Job No.	Drawing No.	Revision
3500-099	SK28	H

Date: 21-11-2011 | Date: 1-10-08@A1 | Drawn: SB | Checked: PDR
 CAD File: P:\3500-099 [RM- PF Distribution Hub] CAD\WORKING DWGS\Prelim\

Note: Do not scale from this drawing. All dimensions to be checked on site.

Watson Battay Architects Limited
 23 Grosvenor Road, Chorley, Lancashire, PR7 2JG

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WATSON BATTAY
 architects

Agenda Page 19
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Notes:
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Schedule of Accommodation
 All areas are approximate gross internal

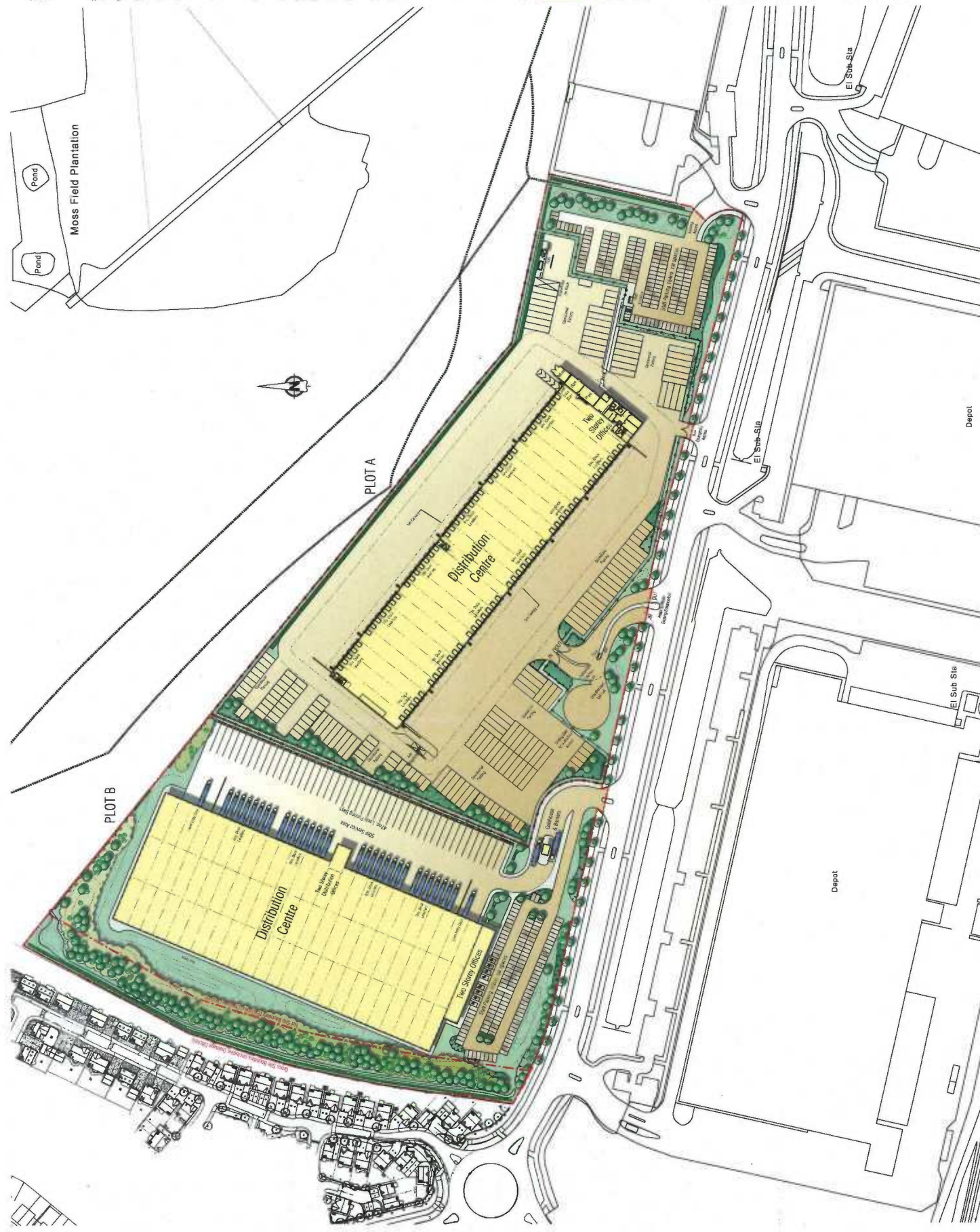
PLOT A	
Distribution Centre	11,000 sq m
New Store Offices	6,585 sq ft
Total	17,585 sq m
Parking	124,973 sq ft
Operational Parking	15,600 sq spaces
	25m car spaces
	25m motorcycle spaces
	100 Lorries
	14 Buses
	4 Long Wheelbase Vans
Site Area	14.28 acres
	5.82 hectares
PLOT B	
Distribution Centre	14,525 sq m
New Store Offices	10,000 sq ft
Distribution Offices	2,500 sq ft
Total	27,025 sq m
Parking	183,974 sq ft
	147m car spaces
	(1 space per 120 sq m)
	47m spaces
Site Area	11.66 acres
	4.72 hectares
NET SITE AREA (including western landscaping strip)	
	13.08 acres
	4.08 hectares

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 1170 Blon Court
 Coventry Business Park
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 W: www.oja-architects.com

EVANDER PROPERTIES
 Revolution Park
 Chorley

Project: Revolution Park
 Chorley
 Drawing: Site Layout Plan
 Scale: 1:1000
 Date: 09/03/12

Ref: 5257 - 026



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LOCATIONS OF CROSS SECTIONS (not to scale)

DRAWING BASE
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SUITABLE FOR PLANNING PURPOSES ONLY

Revision
 CLIENT

 Wharf Centre Studio, Warwick, CV34 5LB 0780 133 5555

PROJECT
 REVOLUTION PARK
 CHORLEY

DRAWING
 CROSS SECTIONS SHOWING
 PROPOSED PLANTINGS AT YEAR 1
 (Based on: the latest JBLA drawing 2028 - PL002
 ajb drawing 5257-017
 Stewart Milne Homes drawing 1183SMH/PL01 RevF
 Barratt Homes drawing 410/PL01 RevC)

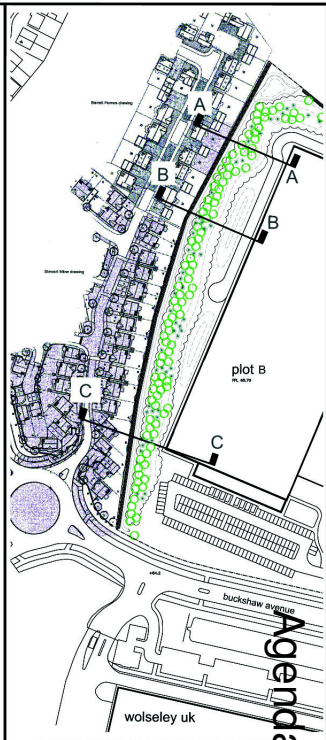
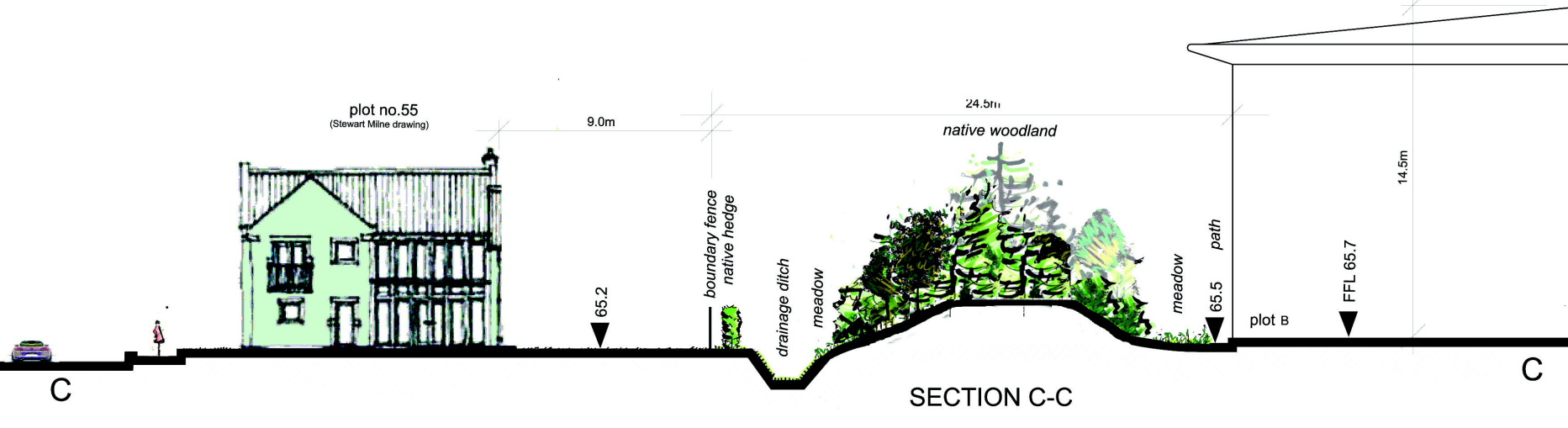
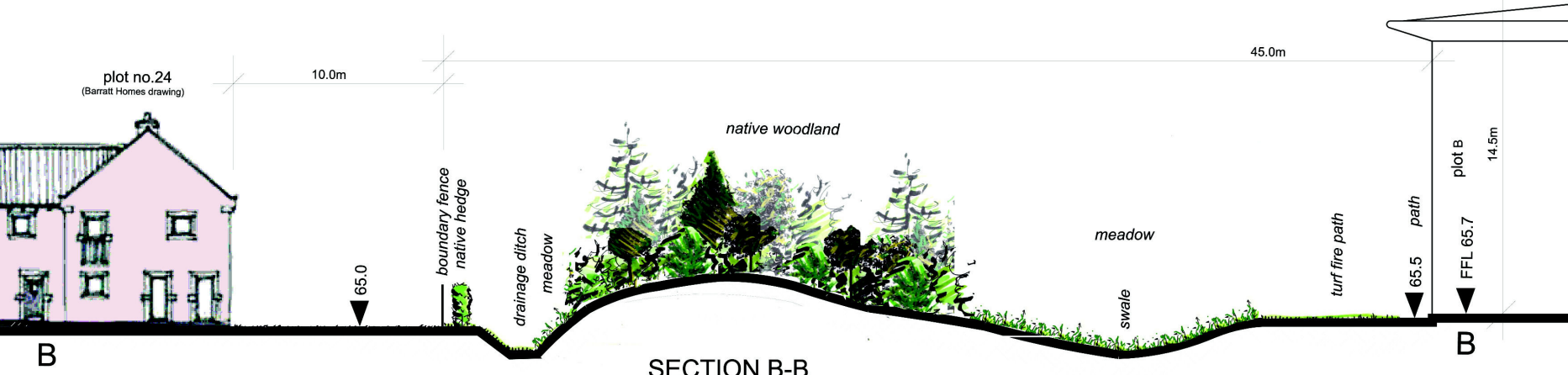
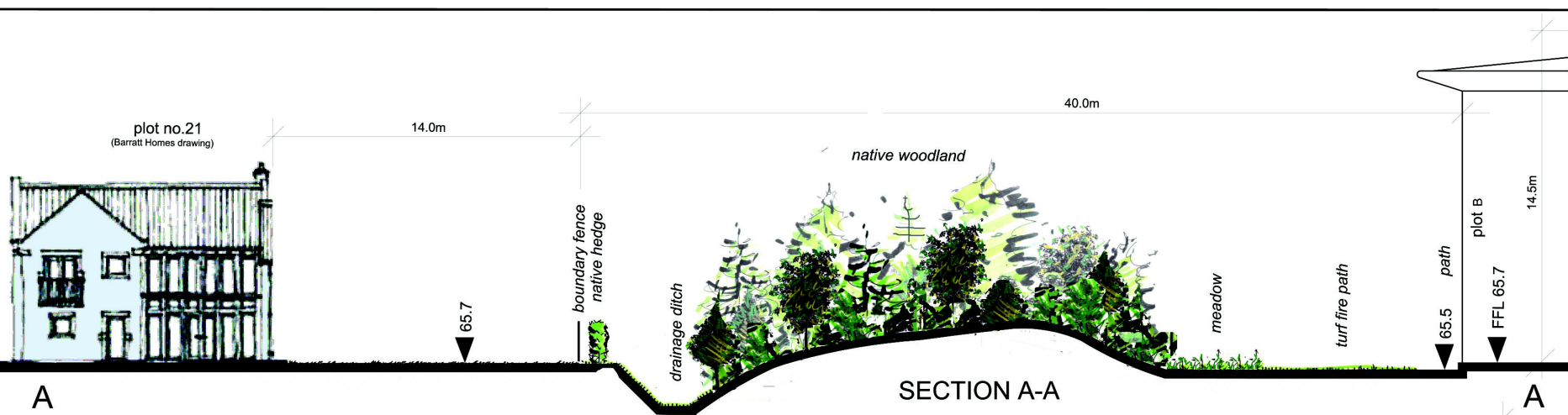
DRAWN	sh	CHECKED	jb	APPROVED	jb
TRACED		SCALE: approx 1:150 @A1	DATE	26 JANUARY 2012	
DRAWING No					REV

2028 - DL001

NOTE: House styles are indicative only and not true representations

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DRAWING BASE
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SUITABLE FOR PLANNING PURPOSES ONLY

Revision
CLIENT

EVANDER PROPERTIES

JB Landscape Associates
Wharf Centre Studio, Warwick, CV34 5LB 0780 136 666

PROJECT
**REVOLUTION PARK
CHORLEY**

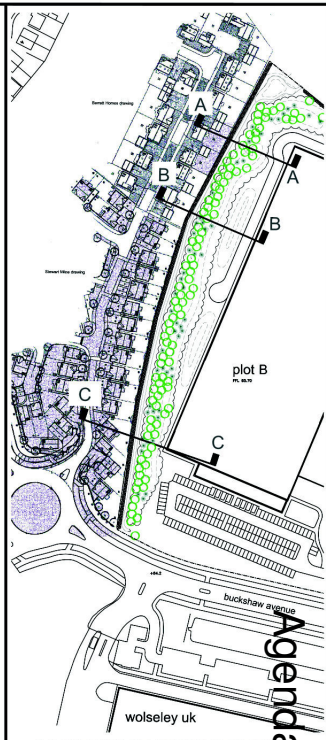
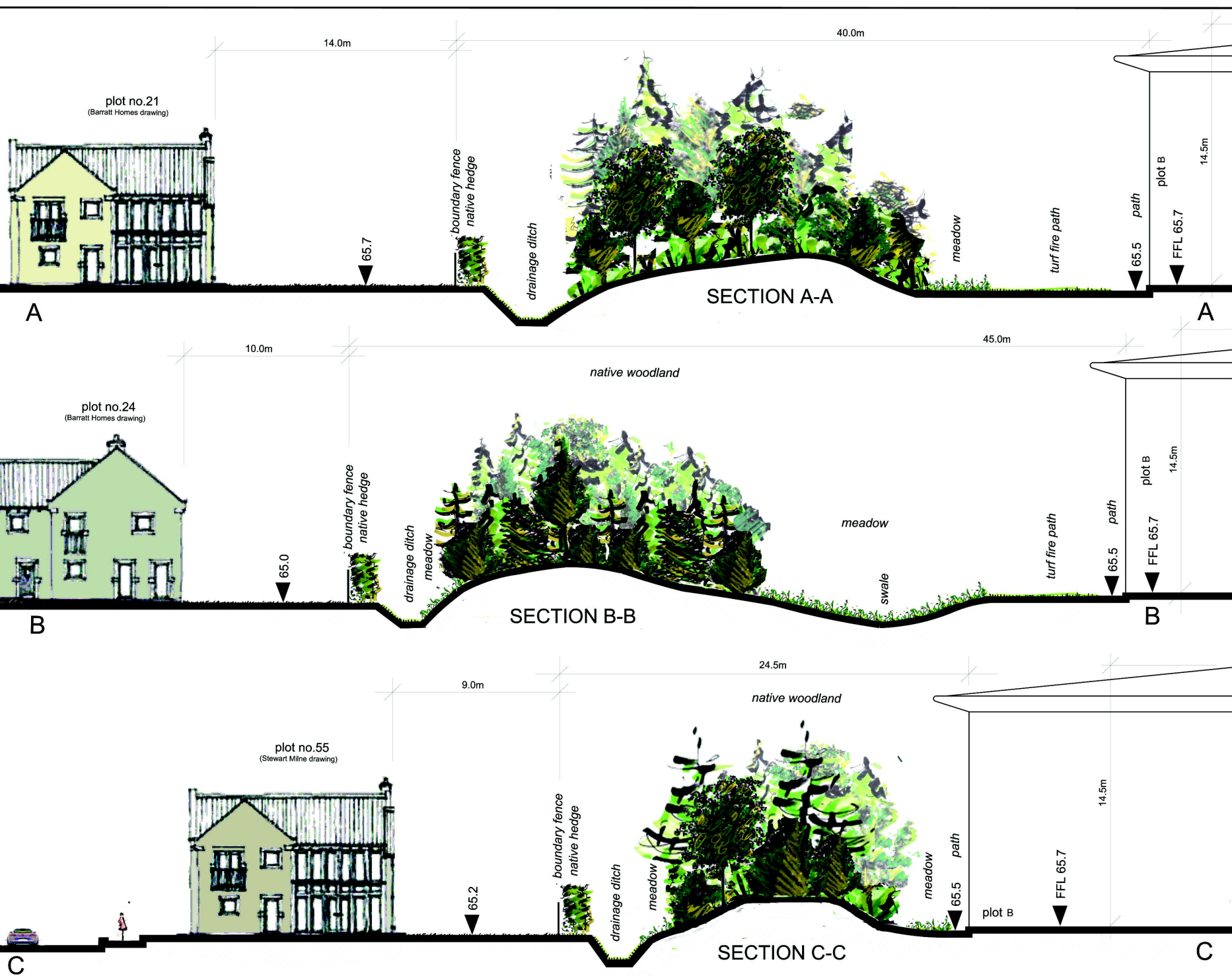
DRAWING
**CROSS SECTIONS SHOWING
PROPOSED PLANTINGS AT YEAR 7**
(Based on the latest JBLA drawing 2028 - PL002 site drawing 2527-017 Stewart Milne Homes drawing 11835MH/BPL/PL01 RevF Barratt Homes drawing 410/PL01 RevG)

DRAWN	aph	CHECKED	JB	APPROVED	JB
TRACED		SCALE	approx 1:100 @A1	DATE	25 JANUARY 2012
DRAWING No	2028 - DL002				REV

NOTE: House styles are indicative only and not true representations

Agenda Page 27
Agenda Item 4c

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DRAWING BASE
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Revision
 CLIENT

EVANDER PROPERTIES

Agenda Page 29 Item 4c

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 Wharf Centre Studio, Warwick, CV34 5LB 0780 136 136

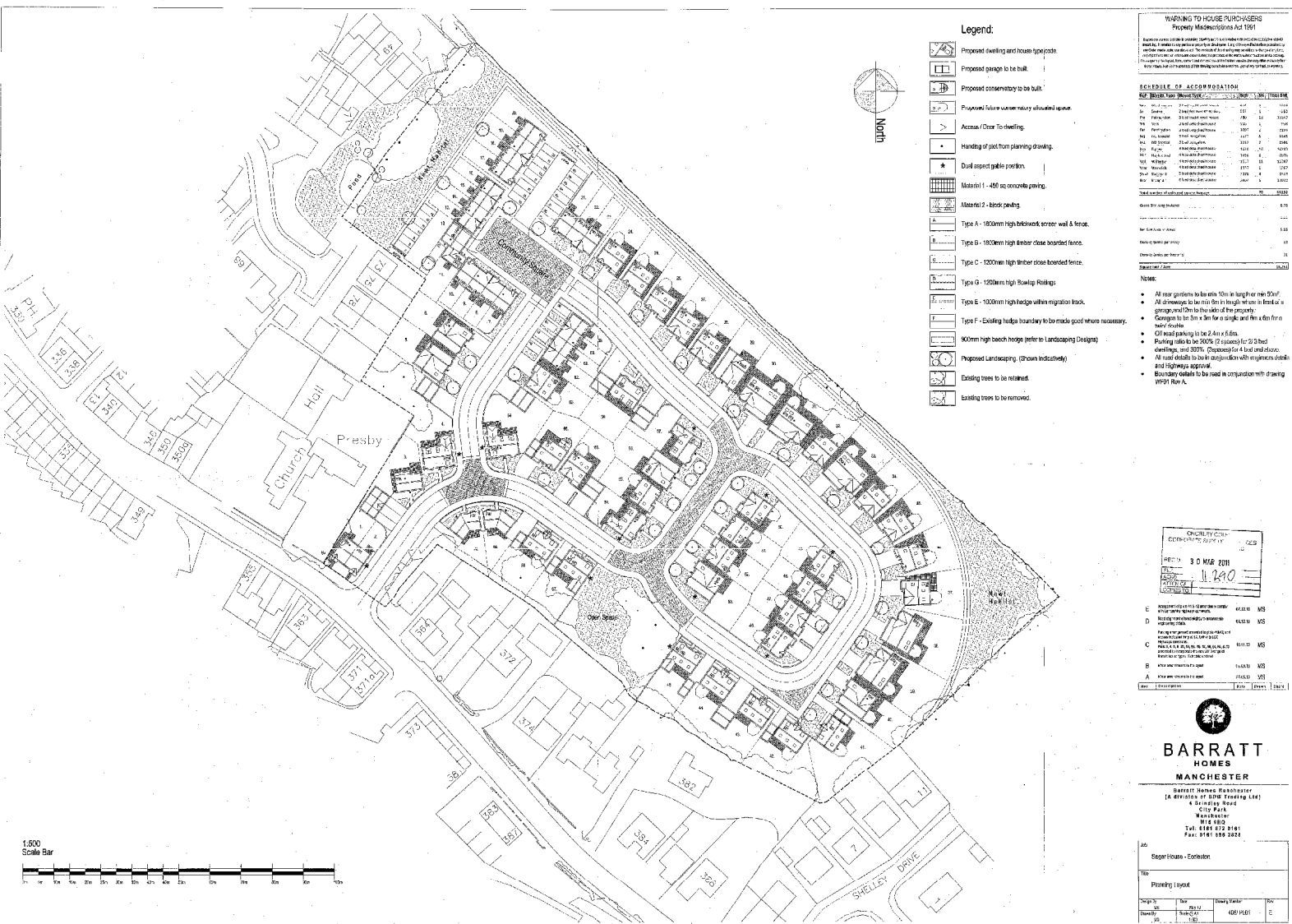
PROJECT
 REVOLUTION PARK
 CHORLEY

DRAWING
 CROSS SECTIONS SHOWING
 PROPOSED PLANTINGS AT YEAR 15
 (Based on the latest JBLA drawing 2020 - PL002
 aka drawing 5257-017
 Stewart Milne Homes drawing 1183SMHSP/PL01 RevF
 Barratt Homes drawing 410/PL01 RevG)

DRAWN	ah	CHECKED	JB	APPROVED	JB
TRACED		SCALE	approx 1:100 @A1	DATE	25 JANUARY 2012
DRAWING No					REV
2028 - DL003					

NOTE: House styles are indicative only and not true representations

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Legend:

- Proposed dwelling and house typecode
- Proposed garage to be built
- Proposed conservatory to be built
- Proposed future use area
- Access / Drive to dwelling
- Heading of plot from planning drawing
- Dual aspect gate position
- Material 1 - 450 mm concrete paving
- Material 2 - block paving
- Type A - 1800mm high brickwork screen wall & fence
- Type B - 1800mm high timber close boarded fence
- Type C - 1200mm high timber close boarded fence
- Type D - 1200mm high Boxlog Railings
- Type E - 1200mm high hedge with migration track
- Type F - Existing hedge boundary to be made good where necessary
- 900mm high beech hedge (refer to Landscaping Designs)
- Proposed Landscaping (shown indicatively)
- Existing trees to be retained
- Existing trees to be removed

WAPPING TO HOUSE PURCHASERS
Property: Wappington Road 1201

SCHEDULE OF ACCOMMODATION

Ref	Block Type	Units	Area (sqm)	Plot Area (sqm)	Plot No.	Total No.
1	1st Floor	1	100	100	1	1
2	2nd Floor	1	100	100	2	2
3	3rd Floor	1	100	100	3	3
4	4th Floor	1	100	100	4	4
5	5th Floor	1	100	100	5	5
6	6th Floor	1	100	100	6	6
7	7th Floor	1	100	100	7	7
8	8th Floor	1	100	100	8	8
9	9th Floor	1	100	100	9	9
10	10th Floor	1	100	100	10	10
11	11th Floor	1	100	100	11	11
12	12th Floor	1	100	100	12	12
13	13th Floor	1	100	100	13	13
14	14th Floor	1	100	100	14	14
15	15th Floor	1	100	100	15	15
16	16th Floor	1	100	100	16	16
17	17th Floor	1	100	100	17	17
18	18th Floor	1	100	100	18	18
19	19th Floor	1	100	100	19	19
20	20th Floor	1	100	100	20	20
21	21st Floor	1	100	100	21	21
22	22nd Floor	1	100	100	22	22
23	23rd Floor	1	100	100	23	23
24	24th Floor	1	100	100	24	24
25	25th Floor	1	100	100	25	25
26	26th Floor	1	100	100	26	26
27	27th Floor	1	100	100	27	27
28	28th Floor	1	100	100	28	28
29	29th Floor	1	100	100	29	29
30	30th Floor	1	100	100	30	30
31	31st Floor	1	100	100	31	31
32	32nd Floor	1	100	100	32	32
33	33rd Floor	1	100	100	33	33
34	34th Floor	1	100	100	34	34
35	35th Floor	1	100	100	35	35
36	36th Floor	1	100	100	36	36
37	37th Floor	1	100	100	37	37
38	38th Floor	1	100	100	38	38
39	39th Floor	1	100	100	39	39
40	40th Floor	1	100	100	40	40
41	41st Floor	1	100	100	41	41
42	42nd Floor	1	100	100	42	42
43	43rd Floor	1	100	100	43	43
44	44th Floor	1	100	100	44	44
45	45th Floor	1	100	100	45	45
46	46th Floor	1	100	100	46	46
47	47th Floor	1	100	100	47	47
48	48th Floor	1	100	100	48	48
49	49th Floor	1	100	100	49	49
50	50th Floor	1	100	100	50	50
51	51st Floor	1	100	100	51	51
52	52nd Floor	1	100	100	52	52
53	53rd Floor	1	100	100	53	53
54	54th Floor	1	100	100	54	54
55	55th Floor	1	100	100	55	55
56	56th Floor	1	100	100	56	56
57	57th Floor	1	100	100	57	57
58	58th Floor	1	100	100	58	58
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62	62nd Floor	1	100	100	62	62
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69	69th Floor	1	100	100	69	69
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71	71st Floor	1	100	100	71	71
72	72nd Floor	1	100	100	72	72
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93	93rd Floor	1	100	100	93	93
94	94th Floor	1	100	100	94	94
95	95th Floor	1	100	100	95	95
96	96th Floor	1	100	100	96	96
97	97th Floor	1	100	100	97	97
98	98th Floor	1	100	100	98	98
99	99th Floor	1	100	100	99	99
100	100th Floor	1	100	100	100	100

Notes:

- All new gardens to be 10m x 10m or larger or 50sqm
- All driveways to be 10m x 10m or larger or 50sqm
- Garages to be 3m x 3m for a single and 4m x 4m for a double
- Off road parking to be 2.4m x 5.0m
- Paving to be 100mm (2 layers) or 50mm (3 layers) concrete
- All new details to be in conjunction with engineers details and highways approval
- Boundary details to be read in conjunction with drawing WPP1100A

Scale: 1:500

Scale Bar: 0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

Legend:

- Proposed dwelling and house typecode
- Proposed garage to be built
- Proposed conservatory to be built
- Proposed future use area
- Access / Drive to dwelling
- Heading of plot from planning drawing
- Dual aspect gate position
- Material 1 - 450 mm concrete paving
- Material 2 - block paving
- Type A - 1800mm high brickwork screen wall & fence
- Type B - 1800mm high timber close boarded fence
- Type C - 1200mm high timber close boarded fence
- Type D - 1200mm high Boxlog Railings
- Type E - 1200mm high hedge with migration track
- Type F - Existing hedge boundary to be made good where necessary
- 900mm high beech hedge (refer to Landscaping Designs)
- Proposed Landscaping (shown indicatively)
- Existing trees to be retained
- Existing trees to be removed

Notes:

- All new gardens to be 10m x 10m or larger or 50sqm
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- Type B - 1800mm high timber close boarded fence
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- Type D - 1200mm high Boxlog Railings
- Type E - 1200mm high hedge with migration track
- Type F - Existing hedge boundary to be made good where necessary
- 900mm high beech hedge (refer to Landscaping Designs)
- Proposed Landscaping (shown indicatively)
- Existing trees to be retained
- Existing trees to be removed

BARRATT HOMES MANCHESTER

Barratt Homes Manchester
(A Division of Barratt Developments PLC)
City Park
Manchester
M15 6BQ
Tel: 0161 872 8161
Fax: 0161 855 2823

Scale: 1:500

Scale Bar: 0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

Legend:

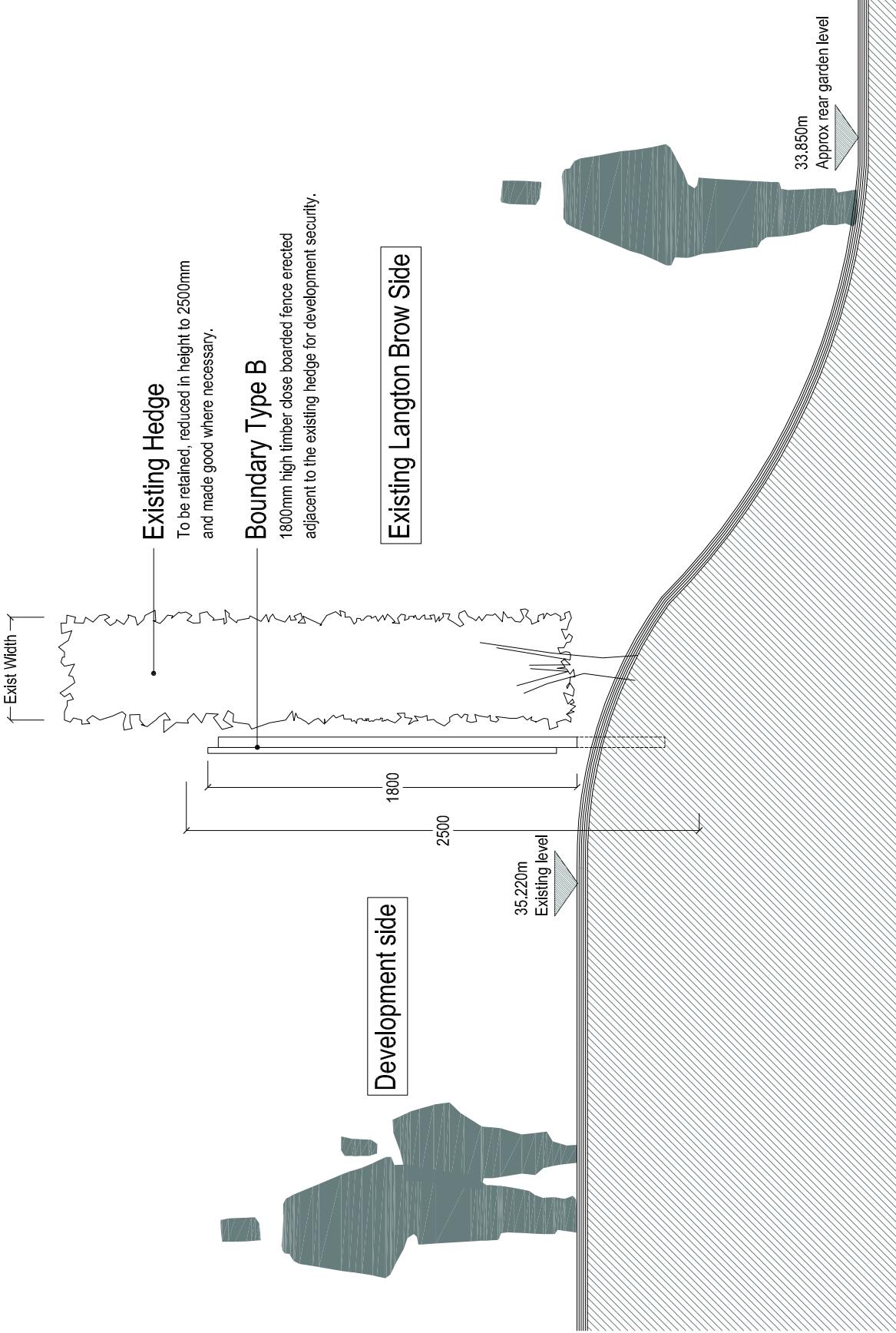
- Proposed dwelling and house typecode
- Proposed garage to be built
- Proposed conservatory to be built
- Proposed future use area
- Access / Drive to dwelling
- Heading of plot from planning drawing
- Dual aspect gate position
- Material 1 - 450 mm concrete paving
- Material 2 - block paving
- Type A - 1800mm high brickwork screen wall & fence
- Type B - 1800mm high timber close boarded fence
- Type C - 1200mm high timber close boarded fence
- Type D - 1200mm high Boxlog Railings
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- Paving to be 100mm (2 layers) or 50mm (3 layers) concrete
- All new details to be in conjunction with engineers details and highways approval
- Boundary details to be read in conjunction with drawing WPP1100A

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Buyers are warned that this is a working drawing and is not intended to be treated as a detailed architectural drawing. It is intended to show the general layout and dimensions of the proposed development and shall not be used as a basis for any construction or other work without the written consent of the architect. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Refer to the contract of the drawing for details of any conditions, terms, conditions, or warranties.



Boundary Treatment to Langton Brow Scale 1:20



**BARRATT
HOMES
MANCHESTER**

Barratt Homes Manchester
(A division of BDW Trading Ltd)
4 Brindley Road
City Park
Manchester
M16 9HQ
Tel: 0161 822 0161
Fax: 0161 825 2828

Rev	Description	Date	Drawn	CN'd

Job
Sagar House - Eccleston

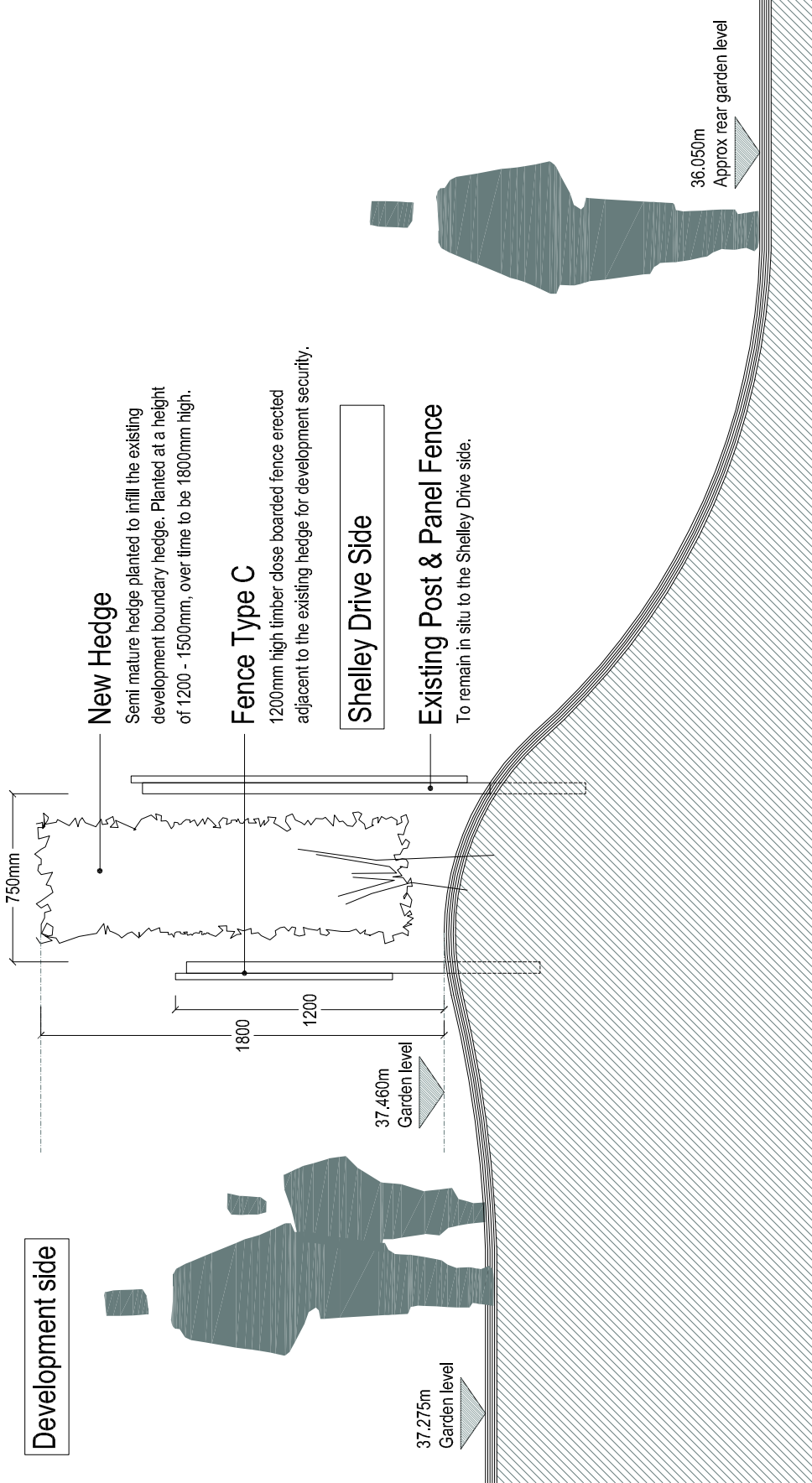
Title		Proposed Boundary Treatment to Langton Brow	
Design By	Date	Drawing Number	Rev
MS	Jan 17	4061 WFD3	
Drawn By	Scale		
	1:20		

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Sagar House - Eccleston

WARNING TO HOUSE PURCHASERS
Property Misdescriptions Act 1991

Buyers are warned that this is a working drawing and is not intended to be treated as a detailed final drawing. It is the responsibility of the purchaser to ensure that the drawing is read in conjunction with the contract and all other documents relating to the property. The purchaser should be aware that the drawing is a preliminary drawing and is not intended to be a final drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Note on the contract of this drawing voids a contract, part of any contract, or warranty.



Boundary Treatment to Shelley Drive Scale 1:20

A Amended in line with local planning authority comments. 01.03.12 MS

Rev	Description	Date	Drawn	CHK'd



BARRATT HOMES MANCHESTER

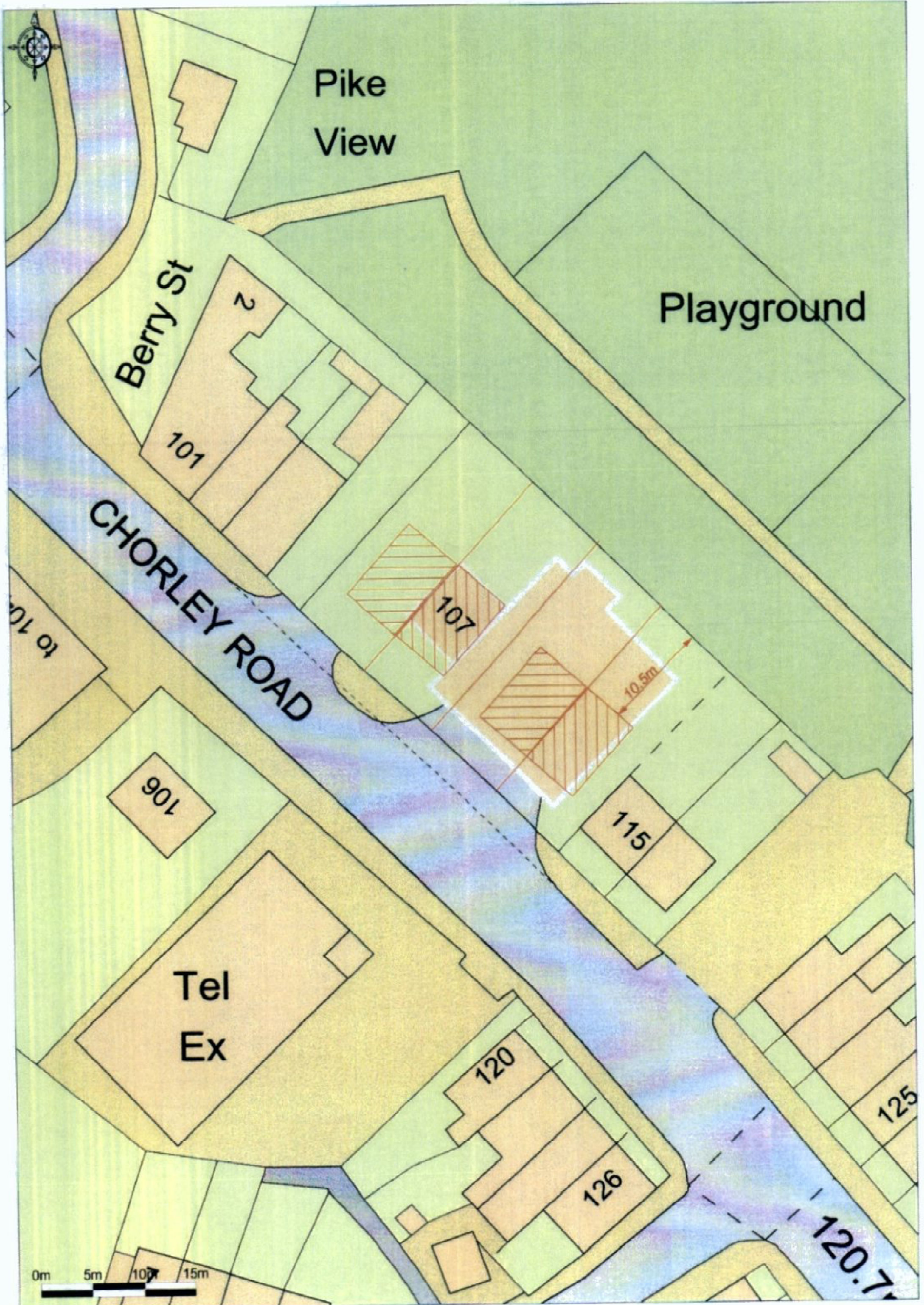
Barratt Homes Manchester
(A division of BDW Trading Ltd)
4 Brindley Road
City Park
Manchester
M16 9HQ
Tel: 0161 822 0161
Fax: 0161 855 2828

Job Sagar House - Eccleston

Title		Drawing Number		Rev
Proposed Boundary Treatment to Shelley Drive		4061 WFFV2		A
Design By	Date	Drawn By	Scale	
MS	Jan 12	SAH@BAT	1:20	

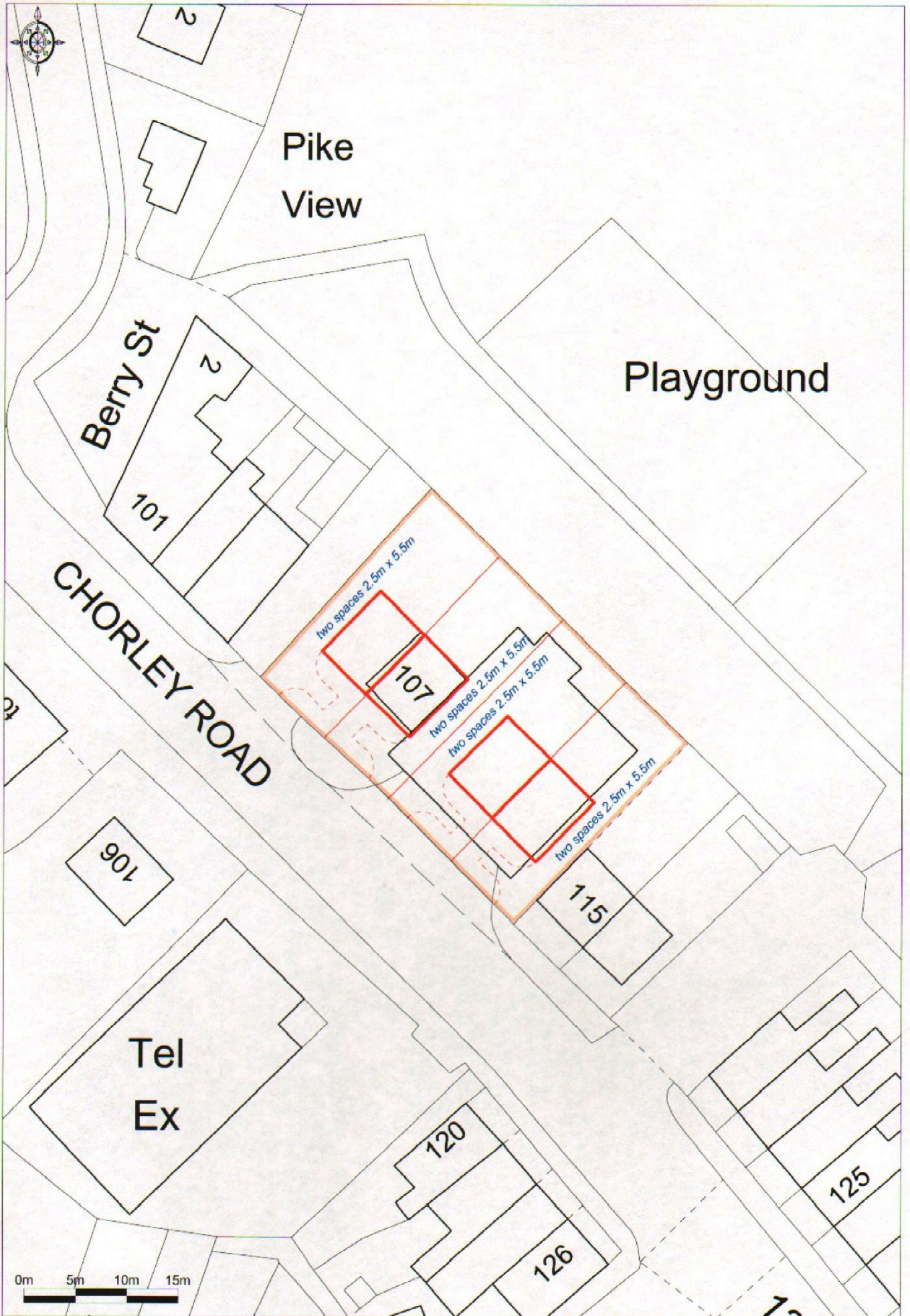
Boundary Treatment Details - Shelley Drive

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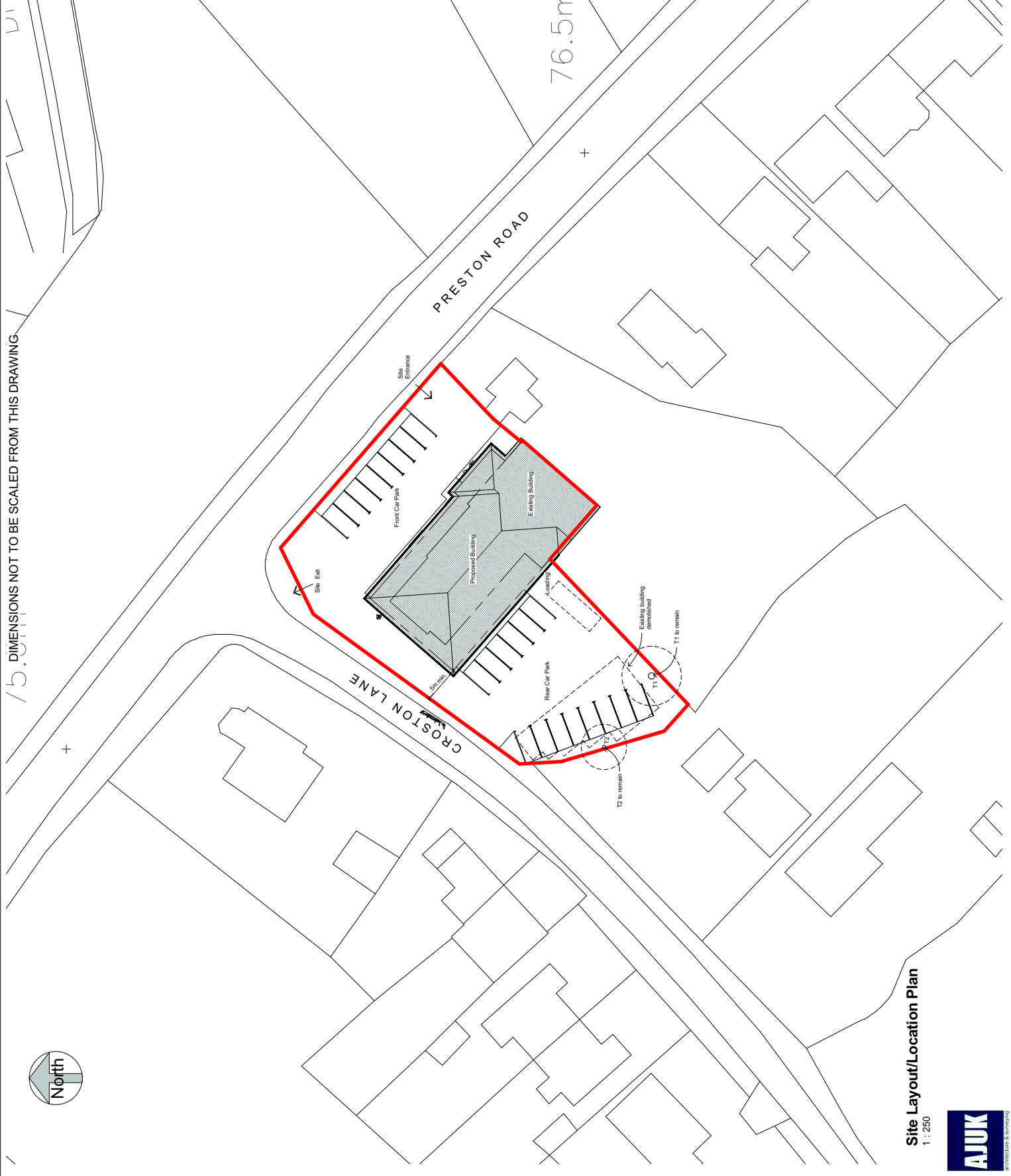


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Licence number 100020449. Plotted Scale - 1:500

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DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.



Rev.	Description	Date
A	T1 & T2 added	Mar 12

Project: Proposed Replacement Building
 Disklok House
 Preston Road
 Charmock Richard
 Chorley PR7 5HH
 for Festive Lights Ltd

Alan Jones
 275 Church Street No 14 Wickley Square
 Blagpool Preston PR1 3JL
Chartered Surveyors
 Tel: 01753 625400 Fax: 01772 561700
 www.alanjones.co.uk
 ■ BUILDINGS SURVEYORS ■ Tel: 01753 252505 Fax: 01772 561701
 ■ ARCHITECTURAL & INTERIOR DESIGNERS ■
 ■ PROJECT MANAGERS ■ Email: info@aljuk.com

RICS
 REGISTERED SURVEYORS
 www.rics.org.uk

Proposed Site Plan

Scale:	1 : 250	Date:	Aug 11	Drawn:	RH
Drawing No.:	PR11-196/03	Revised:	A	Page Size:	A1

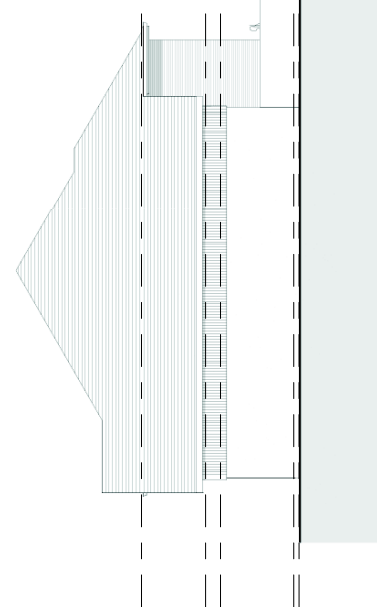
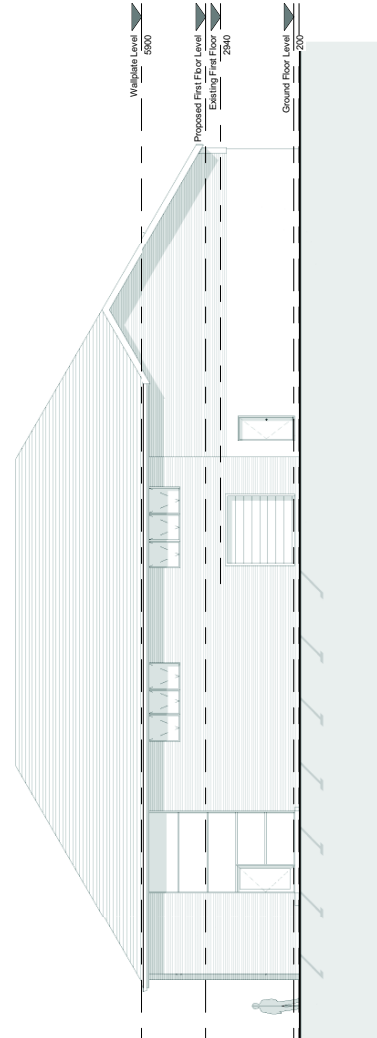
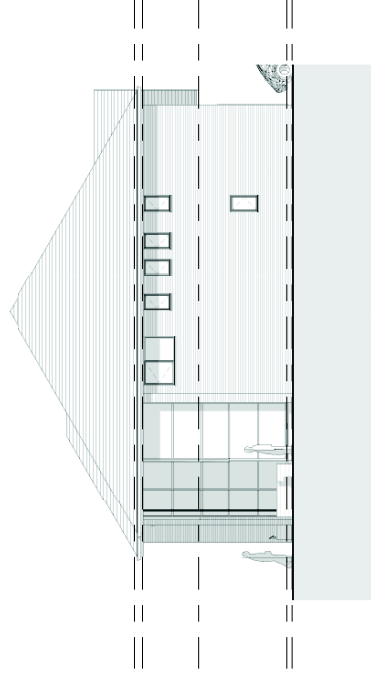
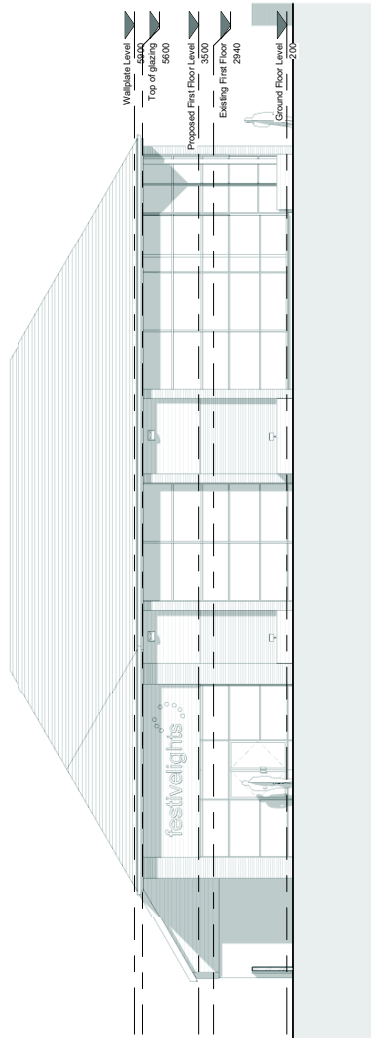
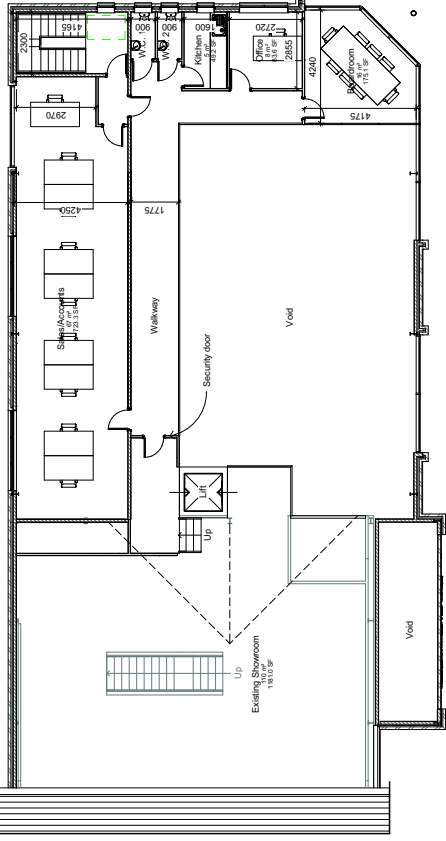
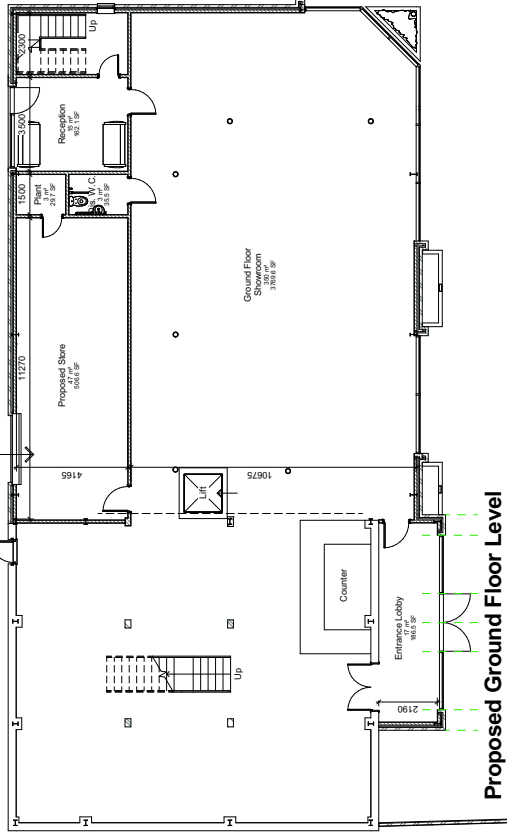
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Site Layout/Location Plan
1 : 250



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DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING



Rev.	Description	Date

Project:
Proposed Replacement Building
Disklok House
Preston Road
Charmock Richard
Chorley PR7 5HH
for Festive Lights Ltd

Alan Jones
Chartered Surveyors
775 Church Street No. 14 Walkley Square
Bladepool Preston PR1 3JJ
Tel: 01753 825400 Fax: 01772 268100
Mobile: 07525 255255 Email: info@ajuk.com
www.ajuk.com

Services:
■ ARCHITECTURAL & INTERIOR DESIGNERS
■ PROJECT MANAGERS

Drawings Title:
Proposed Floor Plans & Elevations
- Planning Submission

RICS
MEMBER OF THE ROYAL INSTITUTION OF CHARTERED SURVEYORS

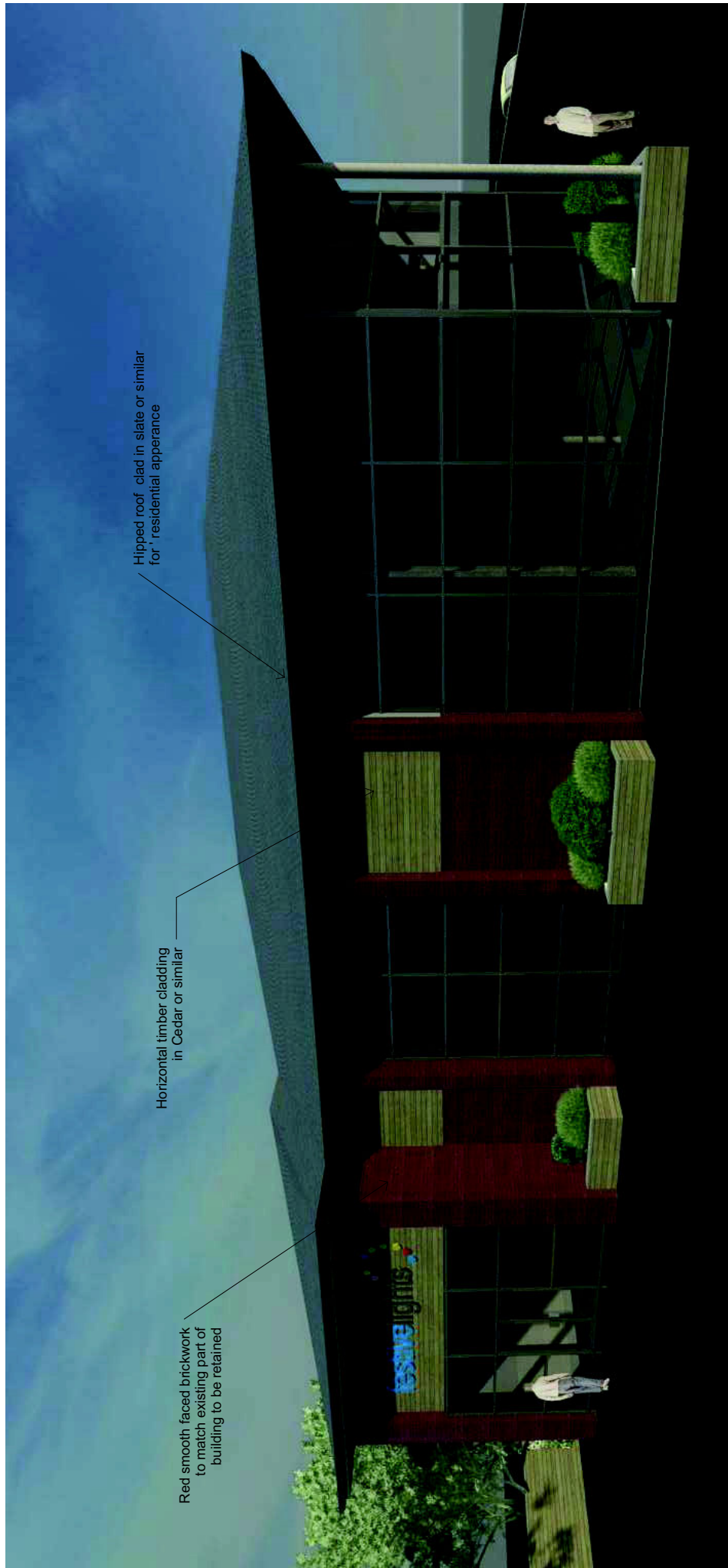
Scale:	1 : 100	Drawn:	Aug 11	Checked:	KH
Drawing No.:	PR11-196/02	Revised:		Project Size:	A1

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Hipped roof clad in slate or similar for 'residential appearance'

Horizontal timber cladding in Cedar or similar

Red smooth faced brickwork to match existing part of building to be retained

3D Image 1

Not to Scale

Alan Jones
Chartered Surveyors
 ■ BUILDING SURVEYORS
 ■ ARCHITECTURAL & INTERIOR DESIGNERS
 ■ PROJECT MANAGERS

275 Church Street
 Blackpool
 FY1 3PB
 Tel: 01253 625400
 Fax: 01253 299030
 www.ajuk.com

No. 14 Windley Square
 Preston
 PR1 3JJ
 Tel: 01772 561700
 Fax: 01772 561701
 Email: info@ajuk.com

Proposed Replacement Building
 Disklok House
 Preston Road
 Charnock Richard
 Chorley PR7 5HH
 for Festive Lights Ltd

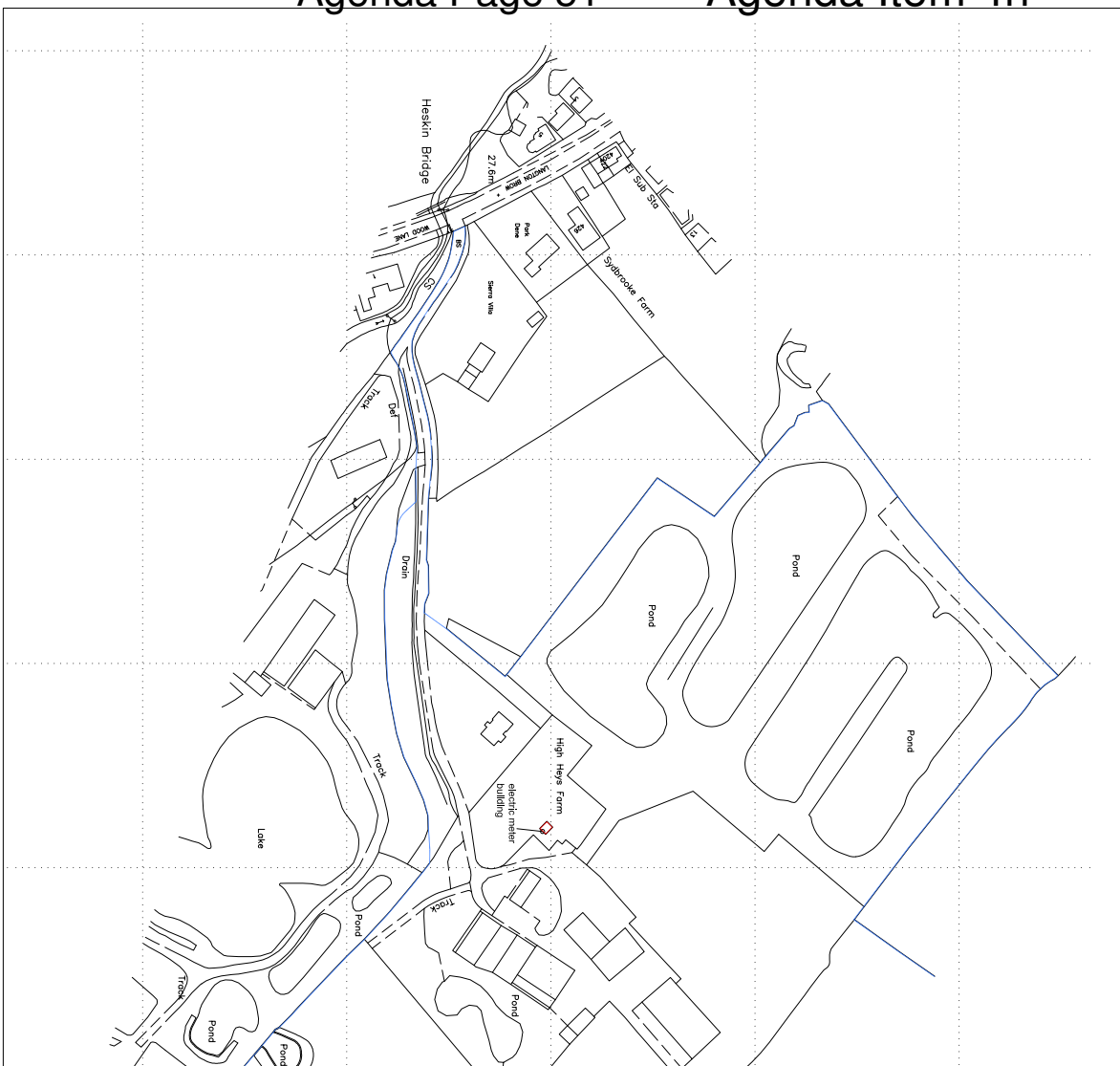
Scales:	Date:	Drawn:
Not to Scale	Aug 11	KH

Drawing No.	Revision:	Paper Size:
PR11-196/3D1	A	A3

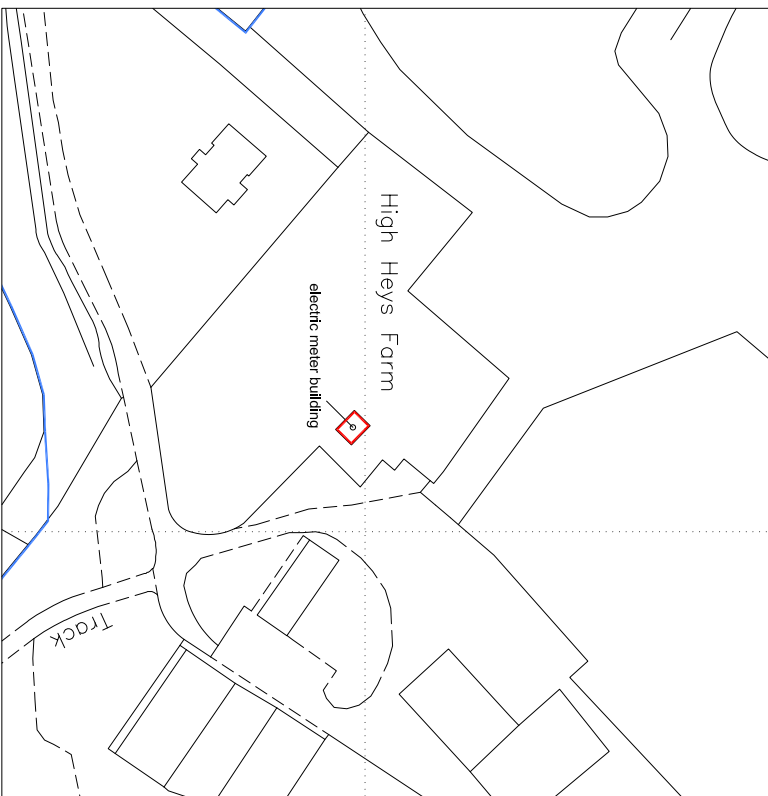
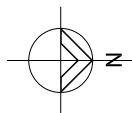


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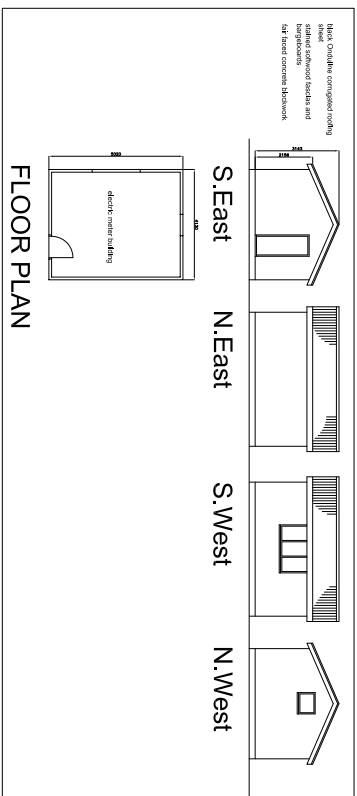
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Location Plan Scale 1:1250



Site Layout 1:500



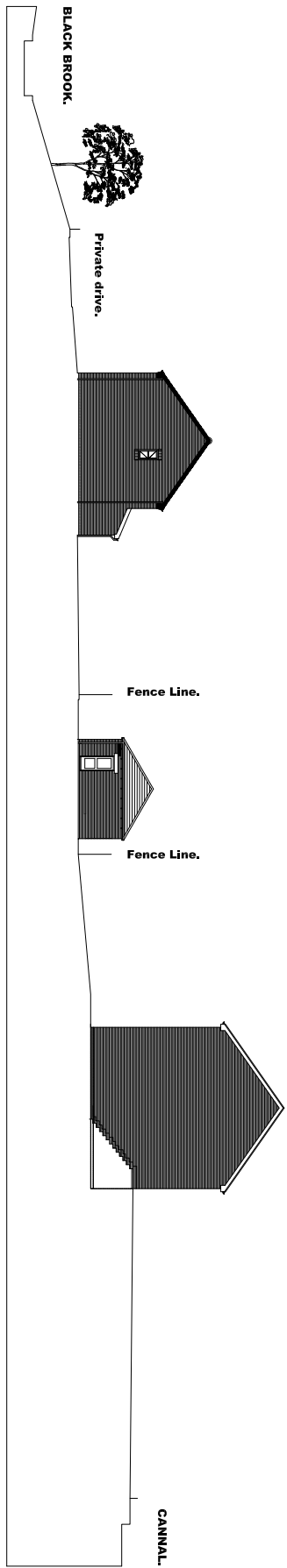
Electric Building 1:100



CLIENT		Mr & Mrs K. White	
PROJECT		Propose electric meter building at High Heys Farm, Langton Brook, Ecdessan, PR7 5PB	
DRAWING TITLE		Proposed Location Plan, Site Plan & Detail Plan.	
DATE	SCALE	ISSUED	DATE
21/10/11	as shown @ A1	as1	11/069/P02
DRAWN BY		REV	
LMP			
ARCHITECTURAL CONSULTANTS			
213 KINGSWAY ROAD			
LEEDS LS2 9JG			
TEL: 0113 272 6155			
WWW.LMP-ARCHITECTS.CO.UK			
© Copyright Limes Architecture Limited.			

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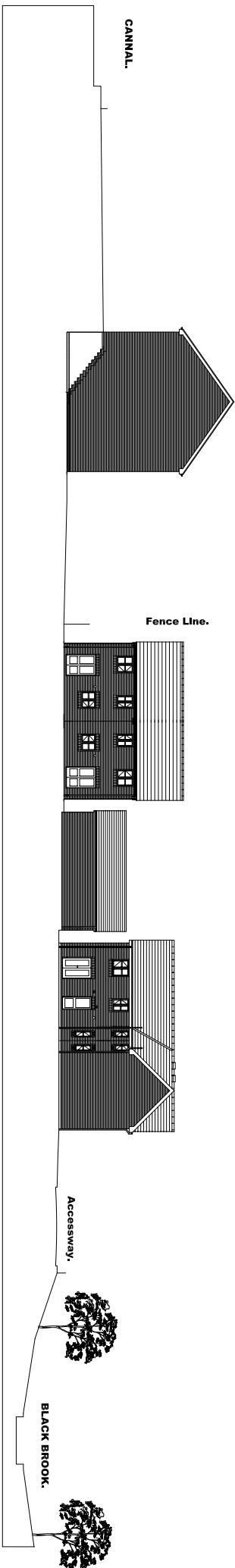
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Plot 173.
FFL.88.15.

Garage Block.
FFL.88.20

Plot 83.
FFL.91.50/88.861



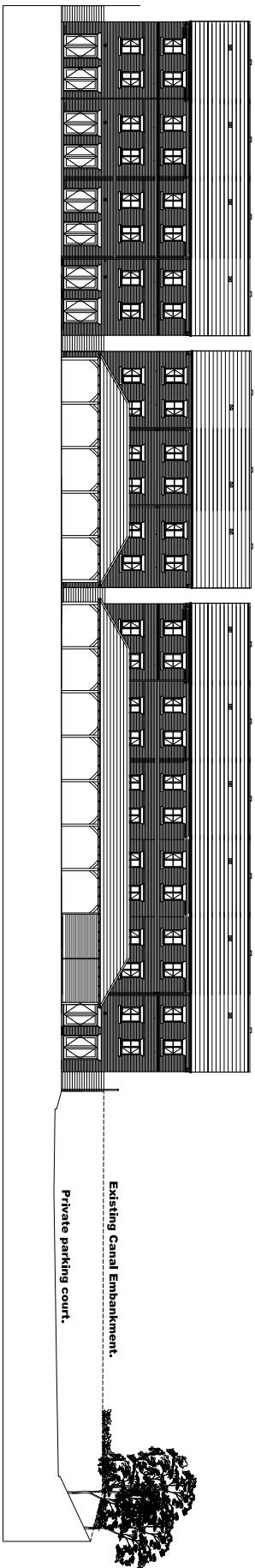
Plot 74.
FFL.91.50/88.861

Plot's 71 - 70.
FFL.88.50.

Garages.
FFL.88.35.

Plot's 69 - 68.
FFL.88.15.

SECTION THROUGH PLOTS 74, 70-71 & 68-69.



Plot's 72-75.
FFL.91.50/88.861

Plot's 76-78.
FFL.91.50/88.861

Plot's 79-83 & 165.
FFL.91.50/88.861

SECTION THROUGH PLOTS 79 - 83 & 165.

NOTES
MORRIS HOMES LTD.
15000 WOODBINE DRIVE
SILVER HOLLOW, SILVER SPRING, MD 20783
DSC: 301.422.2718 FAX: 301.422.2719

Author	JL	Date	JAN 2012
Revised	REVISION TO NEW LAYOUT		
Description			

Prestley, Johnson Ltd
CIVIL & STRUCTURAL ENGINEERS
1500 WOODBINE DRIVE
SILVER HOLLOW, SILVER SPRING, MD 20783
DSC: 301.422.2718 FAX: 301.422.2719

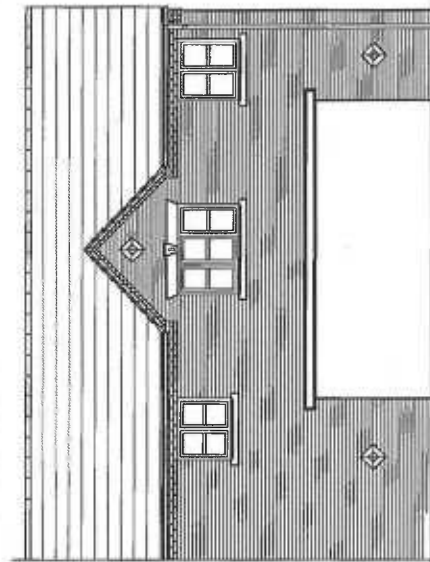
GROSSE HALL FARM, CHORLEY, PHASE 4.
MORRIS HOMES LTD.

Draw No	02054/PH4/SK3	Rev	1/00
Issue	NOV 2010	Scale	1/100
Drawn	SAJ	Checked	SAJ
Issue Date	NOV 2010	Scale	1/100

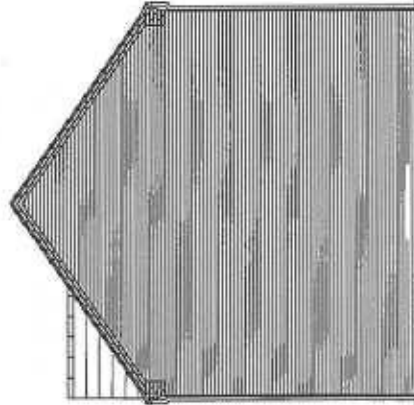
SECTIONS THROUGH PHASE 4.

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Facing brick to L.A.
approval
Buff artstone cills

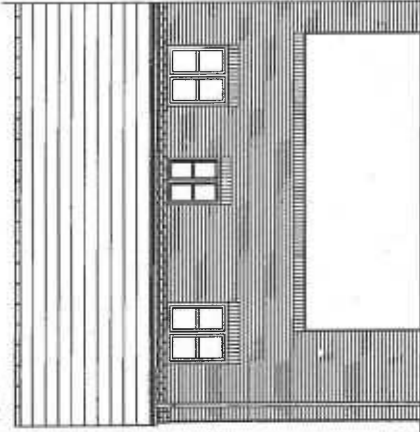


FRONT ELEVATION




SIDE ELEVATION

Roof tiles to L.A.
approval

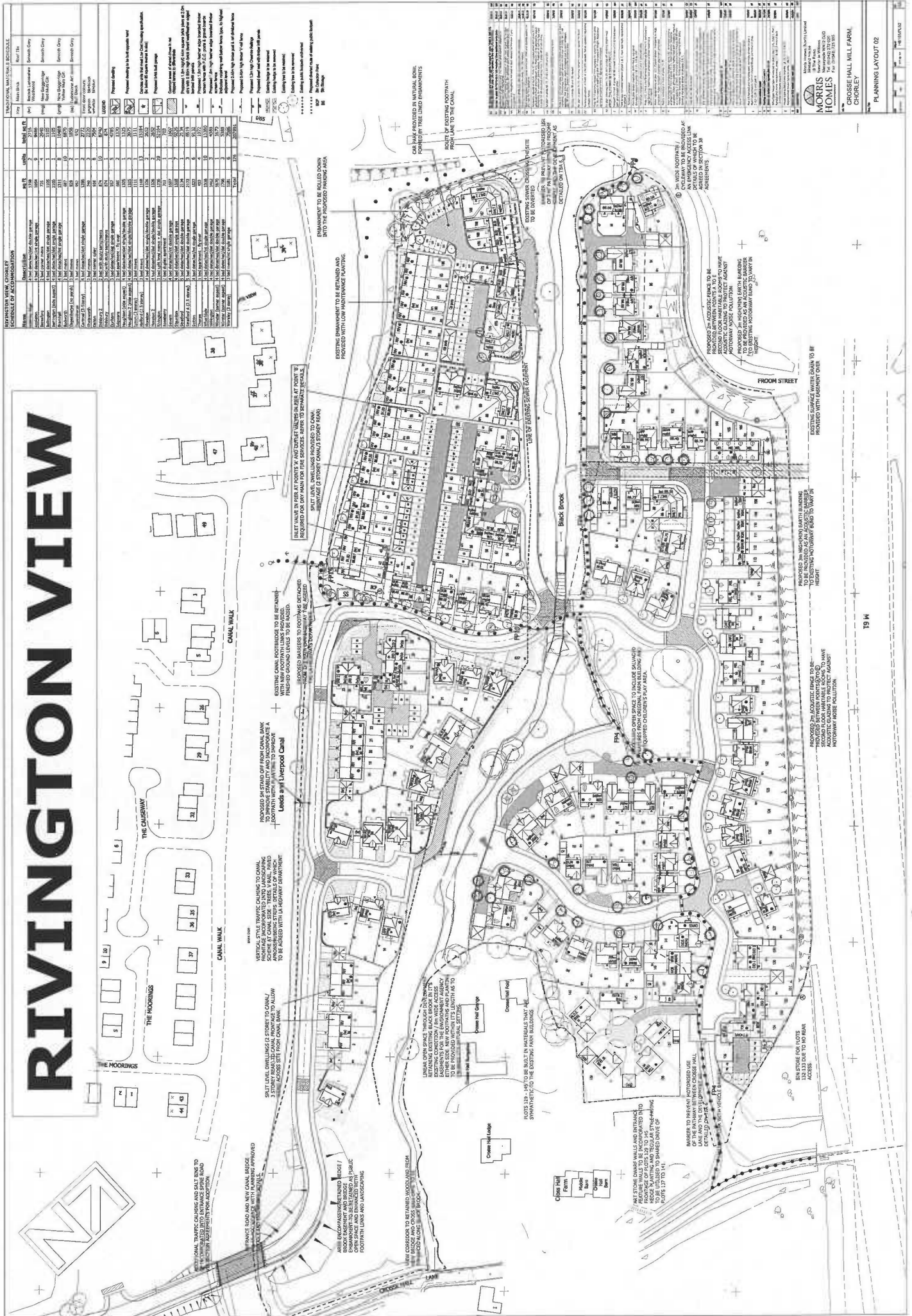


REAR ELEVATION

DATE	18/02/09	SCALE	1:100 @ A3	PROJECT	HB163/P/HEDG01/A
REV	1	DESCRIPTION			
<p>  MORRIS HOMES Morris Homes (Group) Limited Merland House Altrincham Road Wilmslow Cheshire SK9 5NW Tel: (01625) 344 444 Fax: (01625) 333 1645 </p>					
<p> Job No: RIVINGTON VIEW, CROSSE HALL LANE CHORLEY </p>					
<p> Page No: EDGEWARE HOUSE TYPE ELEVATIONS </p>					

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RIVINGTON VIEW



ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Excavate and backfill to existing ground level	100	10.00	1000.00
2	Excavate and backfill to proposed ground level	200	10.00	2000.00
3	Excavate and backfill to proposed ground level	300	10.00	3000.00
4	Excavate and backfill to proposed ground level	400	10.00	4000.00
5	Excavate and backfill to proposed ground level	500	10.00	5000.00
6	Excavate and backfill to proposed ground level	600	10.00	6000.00
7	Excavate and backfill to proposed ground level	700	10.00	7000.00
8	Excavate and backfill to proposed ground level	800	10.00	8000.00
9	Excavate and backfill to proposed ground level	900	10.00	9000.00
10	Excavate and backfill to proposed ground level	1000	10.00	10000.00

ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
11	Excavate and backfill to proposed ground level	1100	10.00	11000.00
12	Excavate and backfill to proposed ground level	1200	10.00	12000.00
13	Excavate and backfill to proposed ground level	1300	10.00	13000.00
14	Excavate and backfill to proposed ground level	1400	10.00	14000.00
15	Excavate and backfill to proposed ground level	1500	10.00	15000.00
16	Excavate and backfill to proposed ground level	1600	10.00	16000.00
17	Excavate and backfill to proposed ground level	1700	10.00	17000.00
18	Excavate and backfill to proposed ground level	1800	10.00	18000.00
19	Excavate and backfill to proposed ground level	1900	10.00	19000.00
20	Excavate and backfill to proposed ground level	2000	10.00	20000.00

ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
21	Excavate and backfill to proposed ground level	2100	10.00	21000.00
22	Excavate and backfill to proposed ground level	2200	10.00	22000.00
23	Excavate and backfill to proposed ground level	2300	10.00	23000.00
24	Excavate and backfill to proposed ground level	2400	10.00	24000.00
25	Excavate and backfill to proposed ground level	2500	10.00	25000.00
26	Excavate and backfill to proposed ground level	2600	10.00	26000.00
27	Excavate and backfill to proposed ground level	2700	10.00	27000.00
28	Excavate and backfill to proposed ground level	2800	10.00	28000.00
29	Excavate and backfill to proposed ground level	2900	10.00	29000.00
30	Excavate and backfill to proposed ground level	3000	10.00	30000.00

ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
31	Excavate and backfill to proposed ground level	3100	10.00	31000.00
32	Excavate and backfill to proposed ground level	3200	10.00	32000.00
33	Excavate and backfill to proposed ground level	3300	10.00	33000.00
34	Excavate and backfill to proposed ground level	3400	10.00	34000.00
35	Excavate and backfill to proposed ground level	3500	10.00	35000.00
36	Excavate and backfill to proposed ground level	3600	10.00	36000.00
37	Excavate and backfill to proposed ground level	3700	10.00	37000.00
38	Excavate and backfill to proposed ground level	3800	10.00	38000.00
39	Excavate and backfill to proposed ground level	3900	10.00	39000.00
40	Excavate and backfill to proposed ground level	4000	10.00	40000.00

ITEM NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
41	Excavate and backfill to proposed ground level	4100	10.00	41000.00
42	Excavate and backfill to proposed ground level	4200	10.00	42000.00
43	Excavate and backfill to proposed ground level	4300	10.00	43000.00
44	Excavate and backfill to proposed ground level	4400	10.00	44000.00
45	Excavate and backfill to proposed ground level	4500	10.00	45000.00
46	Excavate and backfill to proposed ground level	4600	10.00	46000.00
47	Excavate and backfill to proposed ground level	4700	10.00	47000.00
48	Excavate and backfill to proposed ground level	4800	10.00	48000.00
49	Excavate and backfill to proposed ground level	4900	10.00	49000.00
50	Excavate and backfill to proposed ground level	5000	10.00	50000.00

MORRIS HOMES
 1000 Morris Homes Drive
 Morrisville, NC 27560
 Phone: 919.286.7200
 Fax: 919.286.7201

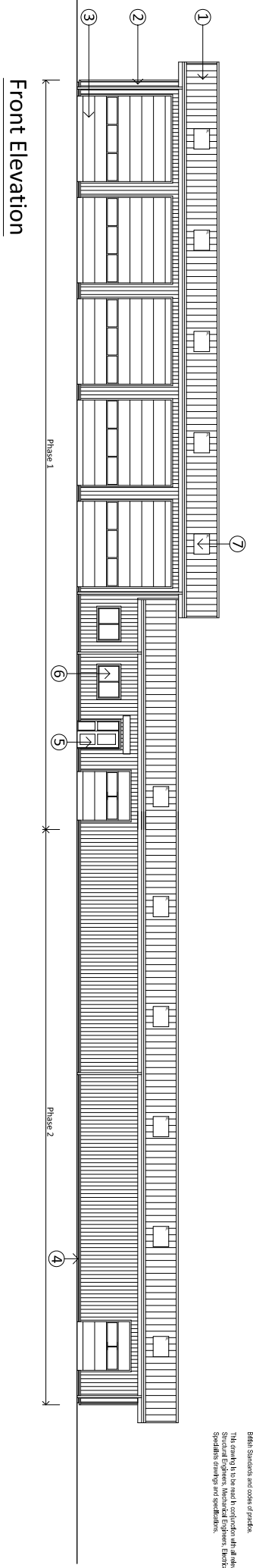
CHORLEY
 CROSSIE MILL FARM
 PLANNING LAYOUT 02

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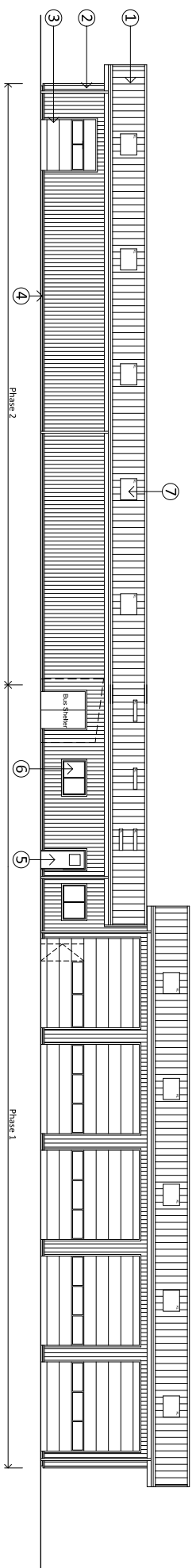
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Fleet Garage and Main Stores Building

Proposed Elevations 1:100

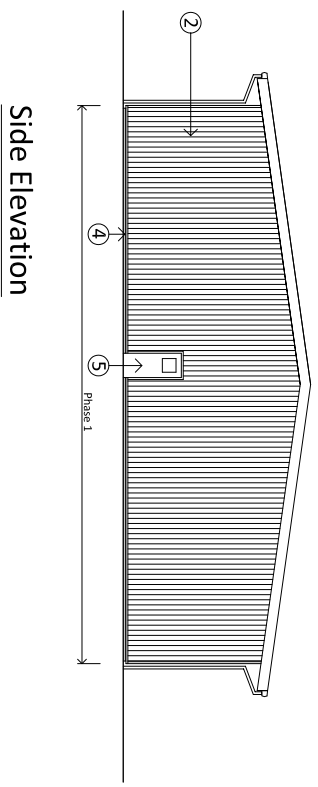


Front Elevation

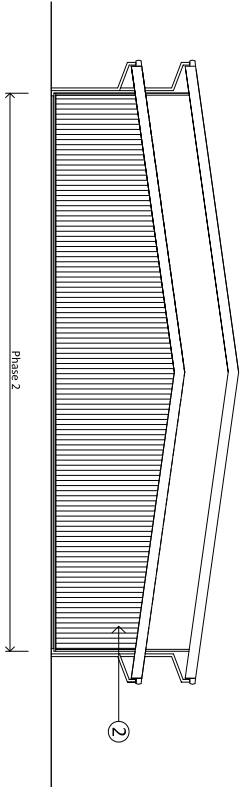


Rear Elevation

- Materials Specification**
- ① Roof - Profile Metal Sheeting with Plastisol Finish
 - ② Walls - Vertical Profile Cladding with Plastisol Finish
 - ③ Insulated Roller Shutter Doors with Powder Coated Finish
 - ④ Facing Brickwork
 - ⑤ Powder Coated Aluminium Doors
 - ⑥ Powder Coated Aluminium Windows
 - ⑦ Translucent Roof Lights



Side Elevation



Side Elevation

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Do not scale from this drawing.

All quantities are to be checked on site prior to construction, manufacture of any components and ordering of materials and equipment.

Any discrepancies are to be reported to the architect for clarification.

All materials used must comply with the current British Standards and codes of practice.

This drawing is to be read in conjunction with all relevant architectural specifications, schedules, specifications, schedules of finishes and specialist drawings and specifications.

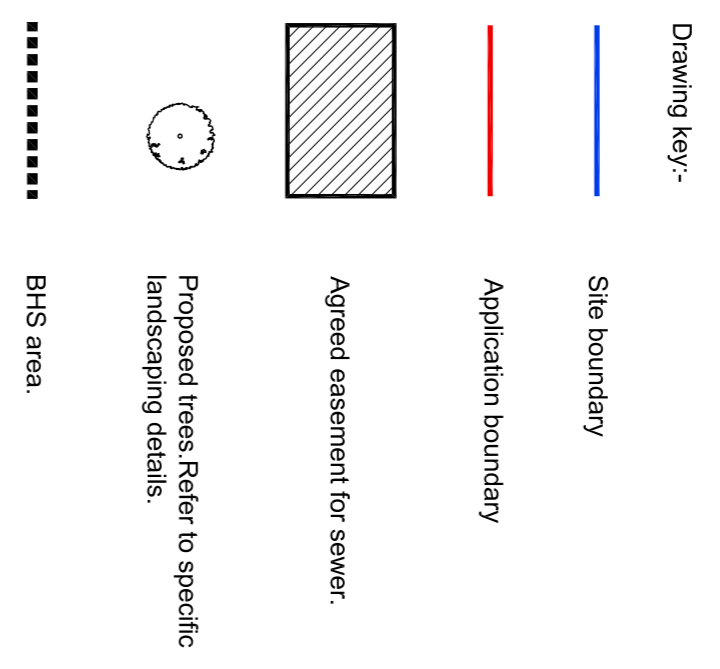
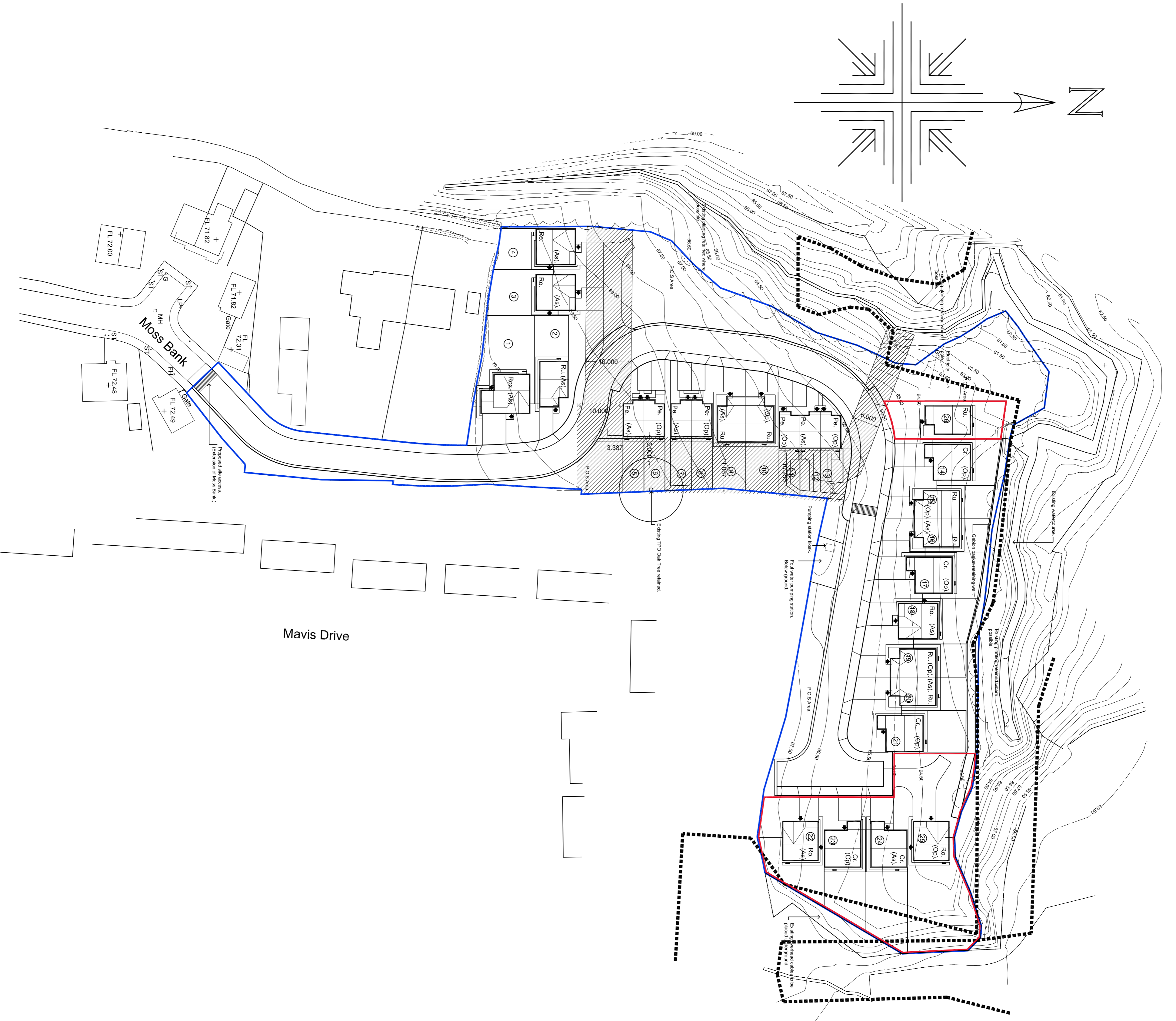
CLIENT Lancashire Fire and Rescue
PROJECT Washington Hall
DATE 08/04/2014
SCALE A1 @ 1:100
CONTRACT NO. Cd11541
CONTRACT DATE 07/03/2011
CONTRACT VALUE £1,500,000
CONTRACT TYPE E



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MIX SCHEDULE

SITE AREA		Gross	Net
Acres	Hectares	1,480	0,986
		0,997	0,640
		0,331	0,225
TOTAL		2,436	1,831

HOUSE TYPE	NO	TOTAL SQ.FT
Ferrose	7	4375
Rufford	6	6960
Roseberry	5	5480
Roseberry XL	1	1096
Crothome	5	5770
TOTAL	24	23481

Coverage	Per Acre	Per Hectare
	16,001	39,539
Density	Per Acre	Per Hectare
	18	43

DO NOT SCALE for construction purposes
 All dimensions are in millimetres unless otherwise stated.

REV	DESCRIPTION	DATE
A	FOOTING/OUTSIDE FLOORS 5/9 ALTERED	23.11.11
B	PLANT SUBSTITUTIONS ON PLOTS 22,23 AND THE ADDITION OF UNIT ON PLOT 26	26.02.12

PERSIMMON
 Persimmon Homes, Lancashire
 Persimmon House
 Lancaster Business Park
 Callon Road
 Lancaster LA1 3RD
 Tel: 01524 542800 Fax: 01524 542801

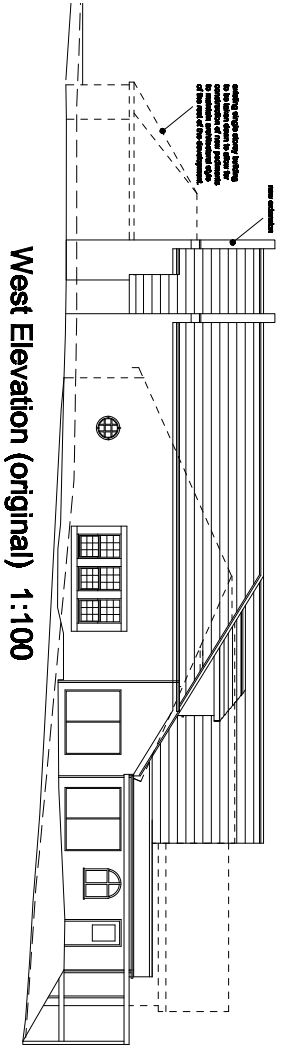
SITE: NORTHENDEN ROAD
COPPULL

TITLE: SITE PLAN

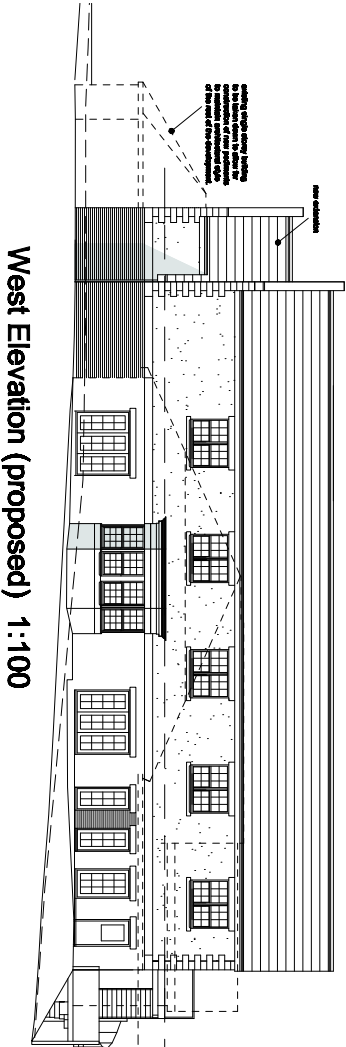
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DATE: June 2011
NUMBER: NER.101
REVISION: B

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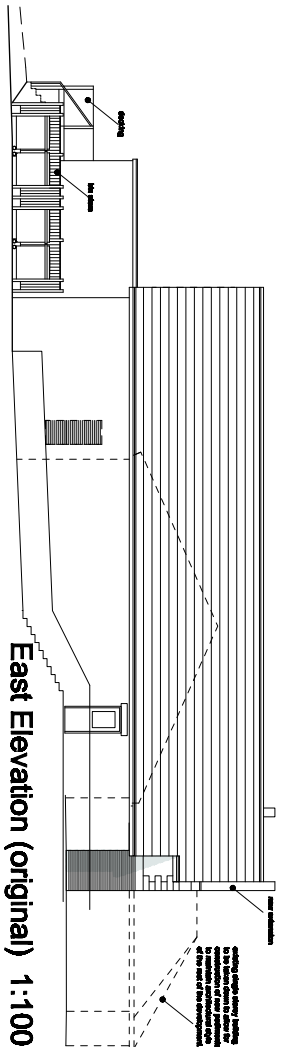
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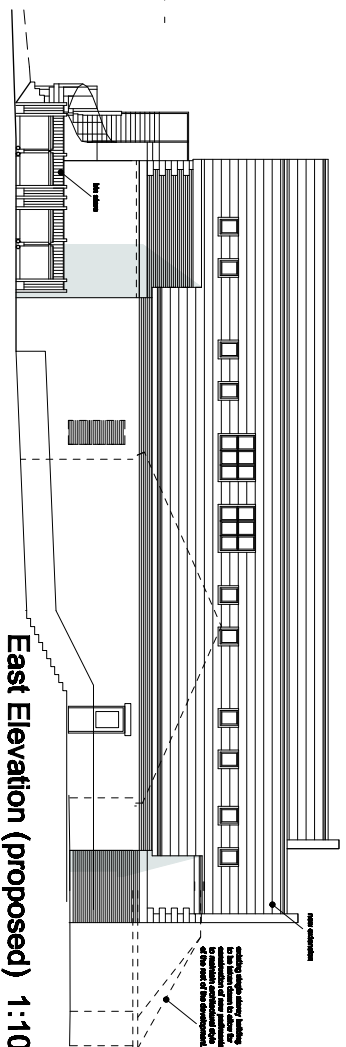
West Elevation (original) 1:100



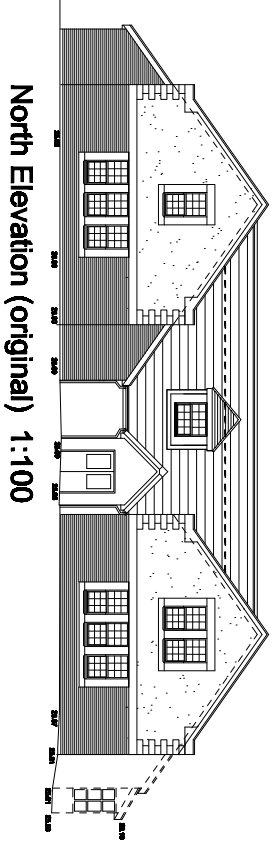
West Elevation (proposed) 1:100



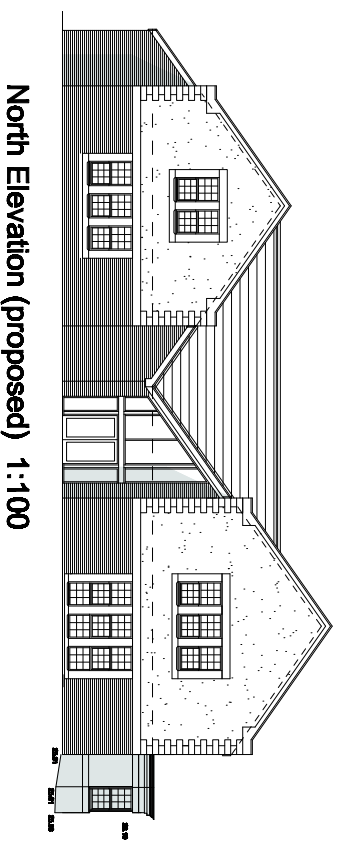
East Elevation (original) 1:100



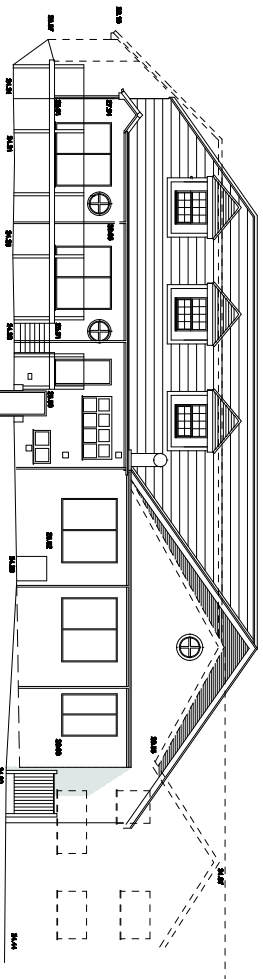
East Elevation (proposed) 1:100



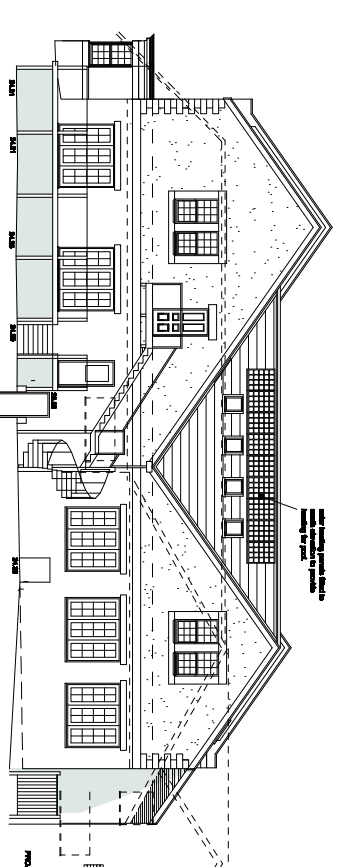
North Elevation (original) 1:100



North Elevation (proposed) 1:100



South Elevation (original) 1:100



South Elevation (proposed) 1:100



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